

# RENOVATION TO 5656 WATERMAN

ST. LOUIS, MO 63112

## BUILDING CODE

(THIS CHART DOES NOT INCLUDE ALL CODE REQUIREMENTS FOR THIS PROJECT)

BUILDING AUTHORITY	SAINT LOUIS CITY
BUILDING CODE	2009 IBC, & IEBC
CONSTRUCTION TYPE	III-B <sup>△</sup>
OCCUPANCY USE GROUPS	R-2
FIRE SUPPRESSION SYSTEM	N/A
AREA FOOT PRINT	4,189 SF

## CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

302.1 USE AND OCCUPANCY CLASSIFICATION:  
B AND R-2 WITH A-3 AS ACCESSORY USE

302.3.1 NONSEPARATED USES.

EACH PORTION OF THE BUILDING SHOULD BE INDIVIDUALLY CLASSIFIED AS TO USE. THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHOULD BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING. THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.

\* MOST RESTRICTIVE = R-2

<sup>△</sup>

## CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

TABULAR AREA	16,000 SF
TABULAR STORIES / HEIGHT	4 / 55'
AREA MODIFICATIONS	0 SF

ACTUAL AREA	
FIRST FLOOR	4,189 SF
SECOND FLOOR	4,135 SF
THIRD FLOOR	4,135 SF
TOTAL BUILDING AREA	12,463 SF
ACTUAL STORIES / HEIGHT	3 / 35'-0"

## CHAPTER 6: TYPE OF CONSTRUCTION

BUILDING ELEMENT	RATING	
STRUCTURAL FRAME: INCLUDING COLUMNS, GIRDERS, AND TRUSSES	0 HR	
BEARING WALLS	EXTERIOR	2 HR
	INTERIOR	0 HR
NONBEARING WALLS AND PARTITIONS - EXTERIOR	0 HR	
NONBEARING WALLS AND PARTITIONS - INTERIOR	0 HR	
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR	
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR	

## ARCHITECT

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## GENERAL CONTRACTOR

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## DRAWING INDEX

ARCHITECTURAL	ISSUE	LATEST
A0.0	TITLE SHEET	2017.07.07
A1.1	SITE PLANS	2017.07.07
A1.2	SITE DETAILS	2017.07.07
A2.1	DEMOLITION PLANS	2017.07.07
A3.1	BASEMENT & ROOF PLAN	2017.07.07
A3.2	FIRST FLOOR PLAN	2017.07.07
A3.3	SECOND FLOOR PLAN	2017.07.07
A3.4	THIRD FLOOR PLAN	2017.07.07
A4.1	SCHEDULES	2017.07.07
A4.2	PARTITION TYPES	2017.07.07
A4.3	PENETRATIONS	2017.07.07
A5.1	EXTERIOR ELEVATIONS	2017.07.07
A5.2	EXTERIOR ELEVATIONS	2017.07.07
A5.3	EXTERIOR ELEVATIONS	2017.07.07
A6.1	DETAILS	2017.07.07
A8.1	INTERIOR ELEVATIONS	2017.07.07
A11.1	ELECTRICAL LAYOUTS	2017.07.07

ALT#1 REPOINT ENTIRE BUILDING  
ALT#2 IRON PRIVACY FENCE IN LIEU OF CHAIN LINK @ PARKING  
ALT#3 LIGHT MONITOR  
ALT#4 SKY LIGHT  
ALT#5 REAR STAIR GUARDRAILS

UNIT#1 REBUILD ENTIRE BAY @ KITCHEN  
UNIT#2 JOIST REPLACEMENT  
UNIT#3 LINTEL FOR SINGLE WINDOW  
UNIT#4 LINTEL FOR DOUBLE WINDOW  
UNIT#5 LINTEL FOR TRIPLE WINDOW

## ALTERNATES/UNIT PRICES

NOTIFY ARCHITECT IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT.

ALL DIMENSIONS ARE TO FACE OF STUD OR OUTSIDE FACE OF MASONRY (IF APPLICABLE) UNLESS NOTED OTHERWISE.

## GENERAL INSTRUCTIONS

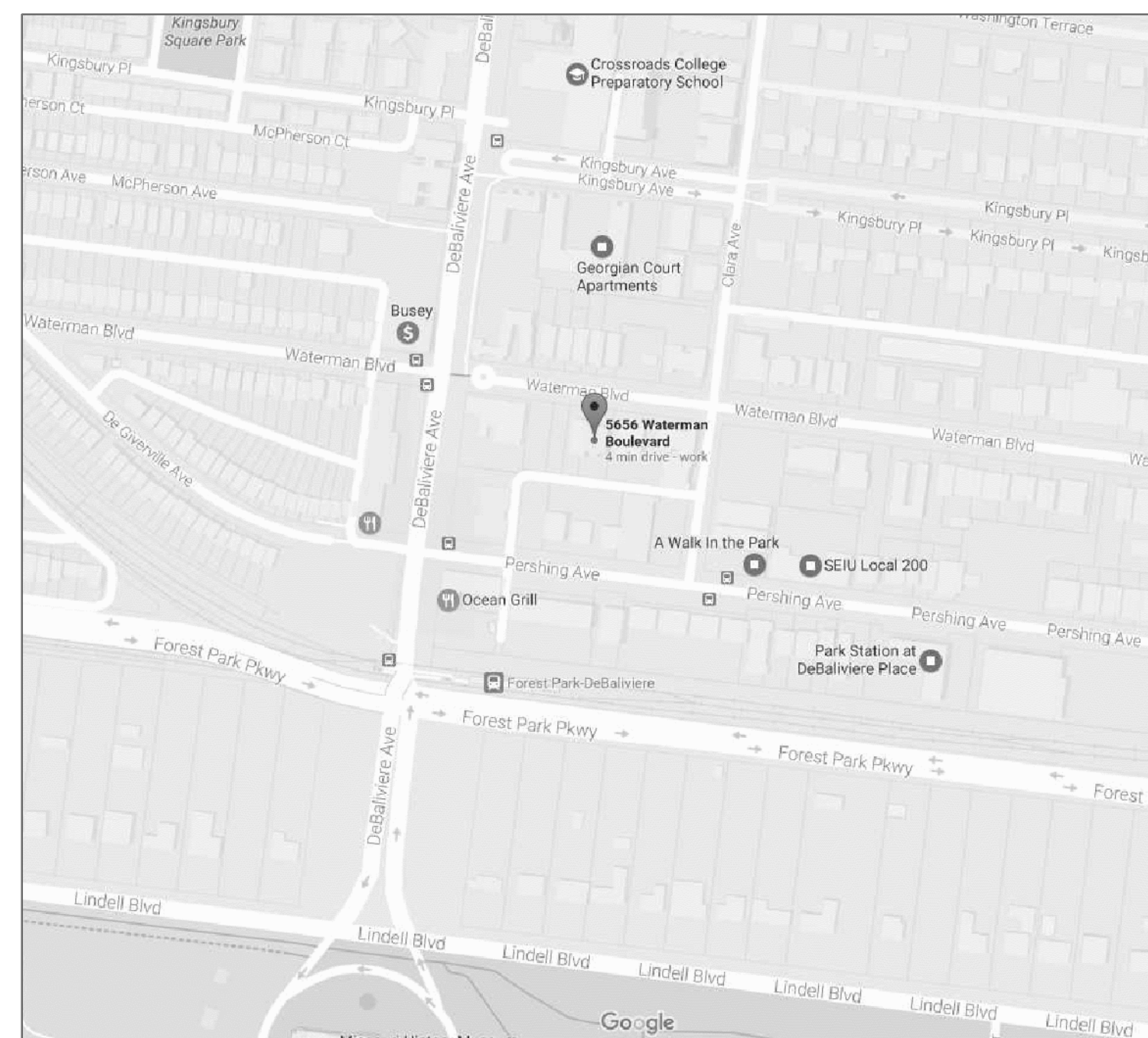
ALT. - ALTERNATE  
H.P. - HIGH POINT  
L.P. - LOW POINT  
PT - PAINT  
VB - VINYL BASE  
EQUIP. - EQUIPMENT  
WB - VINYL BASE

EQUIP. - EQUIPMENT  
SCWD - SOLID CORE WOOD  
ACT - ACCOUTICAL CEILING TILE  
GB or GYP.BD. - GYPSUM BOARD  
CT - CERAMIC TILE  
WWF - WELDED WIRE FABRIC

VCT - VINYL COMPOSITION TILE  
HM - HOLLOW METAL  
CONT. - CONTINUOUS  
MFR - MANUFACTURER  
E.J. - EXPANSION JOINT  
EXP. - EXPANSION  
WD - WOOD

S.M. - SHEET METAL  
MTL - METAL  
DWG - DRAWING  
FIN. - FINISH  
F.F. - FINISH FLOOR

## COMMON ABBREVIATIONS



SITE LOCATION MAP

MATERIAL	LEGEND
BRICK	[Pattern]
CONCRETE	[Pattern]
CONCRETE BLOCK (CMU)	[Pattern]
GYPSUM BOARD	[Pattern]
EARTH	[Pattern]
GRANULAR FILL	[Pattern]
BATT INSULATION	[Pattern]
RIGID INSULATION	[Pattern]
STEEL OR IRON	[Pattern]
DIMENSIONAL LUMBER	[Pattern]

MATERIAL LEGEND

ICON	LEGEND
[Symbol]	DETAIL / ELEVATION INDICATOR
[Symbol]	BUILDING SECTION X
[Symbol]	ROOM NAME
[Symbol]	ROOM TAG
[Symbol]	DOOR TAG
[Symbol]	ELEVATION LOCATION
[Symbol]	ELEVATION TARGET
[Symbol]	COLUMN LINE INDICATOR
[Symbol]	SPOT ELEVATION
[Symbol]	FLOOR MATERIAL
[Symbol]	WINDOW TYPE
[Symbol]	PARTITION TYPE
[Symbol]	SITE BOUNDARY CORNER
[Symbol]	STAIR DIRECTION

ICON LEGEND

SAINT LOUIS  
DESIGN ALLIANCE  
architects

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DAVID MASTIN-ARCHITECT  
MOW A-3920

RENOVATION TO  
5656 WATERMAN  
PROJECT STREET ST. LOUIS, MO 63112

COMM 2017026

ISSUE 2017.07.07

DATE SET

<sup>△</sup> 2017.07.22 CITY COMM.

SHEET TITLE

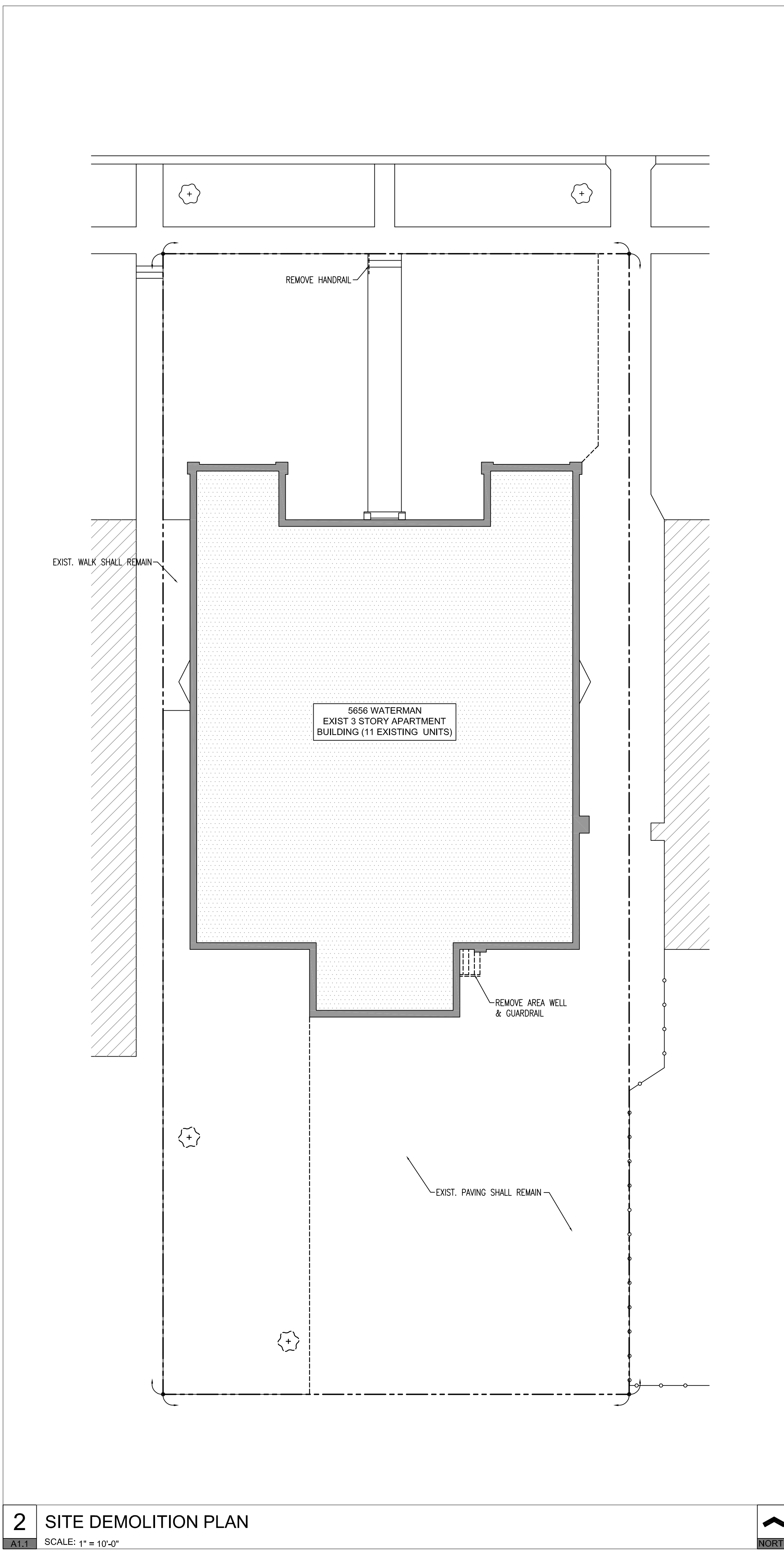
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A0.0

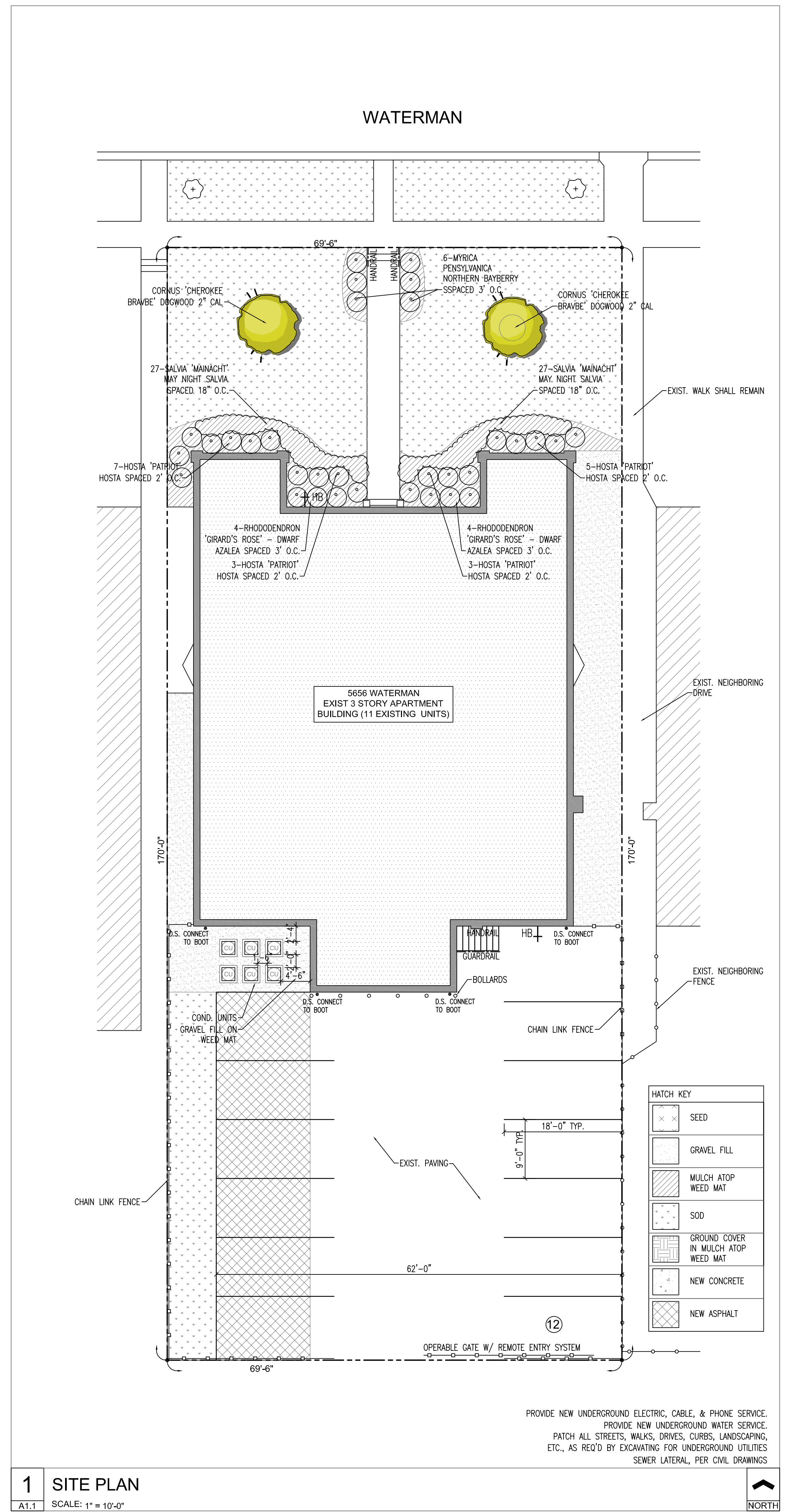
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NOTIFY ARCHITECT IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT.





**2 SITE DEMOLITION PLAN**  
 SCALE: 1" = 10'-0"  
 NORTH



**1 SITE PLAN**  
 SCALE: 1" = 10'-0"  
 NORTH

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**DAVID MASTIN - ARCHITECT**  
 MOW A-3920

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DATE	SET

SHEET TITLE  
 SITE PLAN

**A1.1**

NOTIFY ARCHITECT IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT.

**DESIGN ALLIANCE**  
 architects

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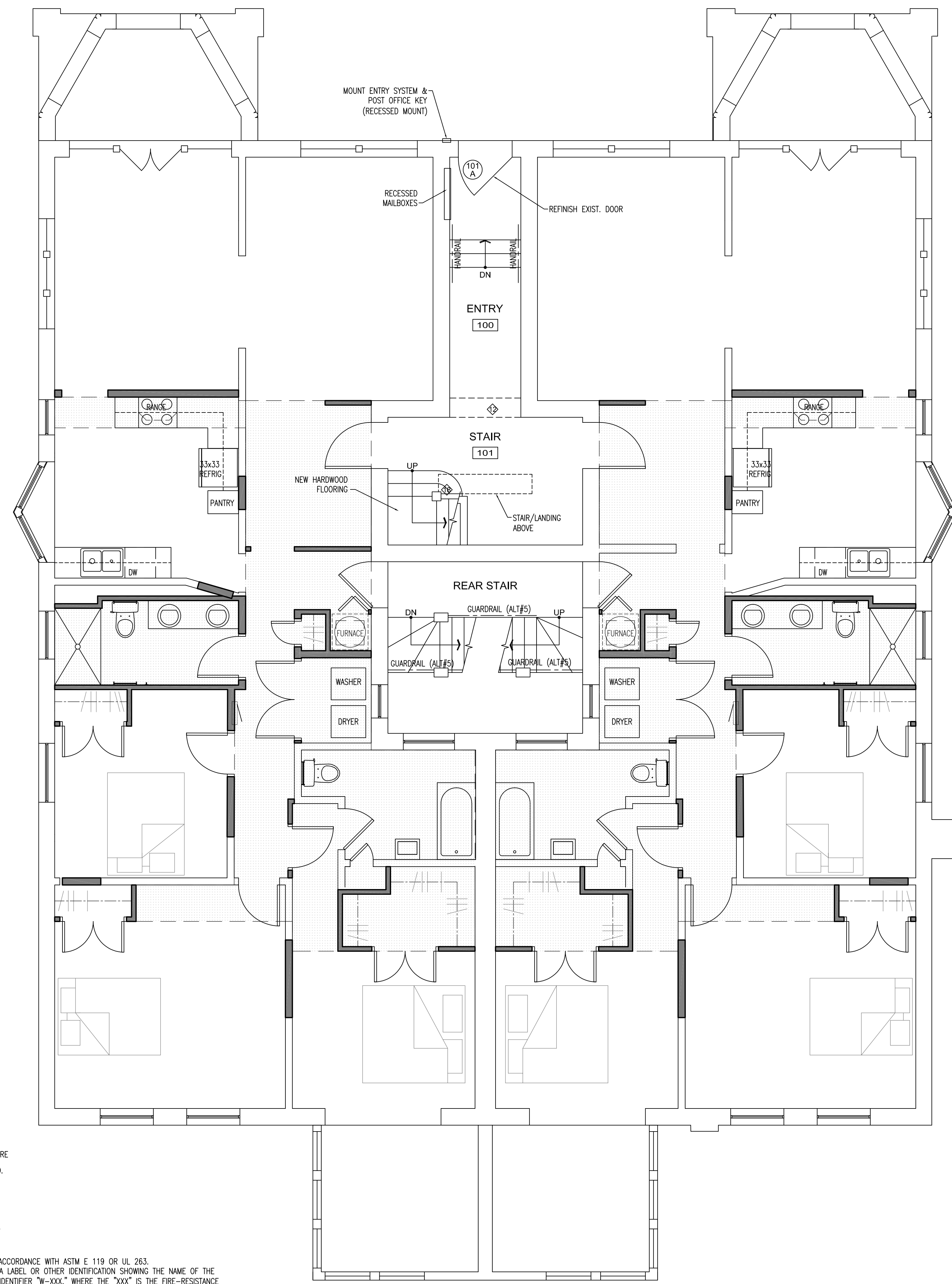












- REPLACE TREADS W/ NEW STONE TO MATCH EXIST.
- (6) 18" WIDE ADJ. WIRE SHELVES
- MTL DRIP PAN W/ F.D.
- UNIT WATER SHUT OFFS
- N/A
- N/A
- WSU + ROD
- ELECTRICAL PANEL
- RESET MARBLE WAINSCOTING
- NEW MARBLE WAINSCOTING
- ALIGN NEW WALL W/ EXIST.
- REPAIR DAMAGED TILE
- 18" TOWEL BAR
- ROBE HOOK
- PLASTER FINISH, SHALL MATCH ADJACENT TEXTURE
- STRIP DOWN EXISTING STUDS & APPLY GYP. BD.
- REFINISH EXISTING WINDOW/DOOR
- SAND & STAIN EXISTING STAIR GUARDRAIL
- FROSTED GLASS SLIDING SHOWER DOORS
- BUILT IN SHELVING, TRIMMED OUT @ ALL SIDES. TRIM SHALL MATCH EXISTING
- 90 MINUTE FIRE RATED WINDOW.
- PER IBC 2009 703.5: FIRE RATED GLAZING IN ACCORDANCE WITH ASTM E 119 OR UL 263.
- FIRE-RESISTANCE-RATED GLAZING SHALL BEAR A LABEL OR OTHER IDENTIFICATION SHOWING THE NAME OF THE MANUFACTURER, THE TEST STANDARD AND THE IDENTIFIER "W-XXX," WHERE THE "XXX" IS THE FIRE-RESISTANCE RATING IN MINUTES. SUCH LABEL OR IDENTIFICATION SHALL BE ISSUED BY AN AGENCY AND SHALL BE PERMANENTLY AFFIXED TO THE GLAZING.
- PER IBC 2009 715.5: FIRE-PROTECTION-RATED GLAZING SHALL COMPLY WITH NFPA 80.

**1** FIRST FLOOR PLAN  
 A3.2 SCALE: 1/4" = 1'-0"

SEE SHEET A3.4 FOR TYPICAL UNIT LAYOUT

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**5656 WATERMAN**  
**PROJECT STREET ST. LOUIS, MO 63112**

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SHEET TITLE	
FIRST FLOOR PLAN	

A3.2

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ROOM	FLOOR	WALLS	CEILING	NOTES					
RM#	ROOM	MAT'L	BASE	N	S	E	W	MAT'L	NOTES
U01	ENTRY	WD/ST-1	WD/PT-2	--	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---
U02	LIVING	WD/ST-1	WD/PT-2	EX/PT-1	EX/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---
U03	DINING	WD/ST-1	WD/PT-2	EX/PT-1	GB/PT-1	EX/PT-1	EX/PT-1	GB/PT-3	---
U04	KITCHEN	CT-2	WD/PT-2	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-1	GB/PT-3	---
U05	BATHROOM	CT-2	CT-2*	CT-2/PT-1	CT-2/GB/PT-1	CT-2/EX/PT-1	GB/PT-1	GB/PT-3	PROVIDE SCHLUETER COVE BASE @ FLOOR/WALL TRANSITIONS
U06	BEDROOM	WD/ST-1	WD/PT-2	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-1	GB/PT-3	---
U07	CLOS.	WD/ST-1	WD/PT-2	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-1	GB/PT-3	---
U08	BEDROOM	WD/ST-1	WD/PT-2	GB/PT-1	EX/PT-1	EX/PT-1	GB/PT-1	GB/PT-3	---
U09	CLOS.	WD/ST-1	WD/PT-2	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-1	GB/PT-3	---
U10	BEDROOM	WD/ST-1	WD/PT-2	GB/PT-1	EX/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---
U11	CLOS.	WD/ST-1	WD/PT-2	EX/PT-1	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---
U12	CLOS.	WD/ST-1	WD/PT-2	EX/PT-1	GB/PT-1	GB/PT-1	GB/PT-1	GB/PT-3	---
U13	BATHROOM	CT-1	CT-1*	EX/PT-1	EX/PT-1	EX/PT-1	EX/PT-1	GB/PT-3	PROVIDE SCHLUETER STRIP @ EXISTING/NEW MARBLE TRANSITIONS
U14	CORRIDOR	WD/ST-1	WD/PT-2	GB/PT-1	GB/PT-1	GB/PT-1	GB/PT-1	GB/PT-3	---
U15	CLOS.	WD/ST-1	WD/PT-2	GB/PT-1	EX/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---
U16	CLOS.	WD/ST-1	WD/PT-2	GB/PT-1	GB/PT-1	GB/PT-1	GB/PT-1	GB/PT-3	---
U17	MECH.	WD/ST-1	MTL	GB/PT-1	GB/PT-1	GB/PT-1	EX/PT-1	GB/PT-3	---

UNIT 2E ALL TRIM SHALL BE STRIPPED AND STAINED TO MATCH EXISTING STAIN

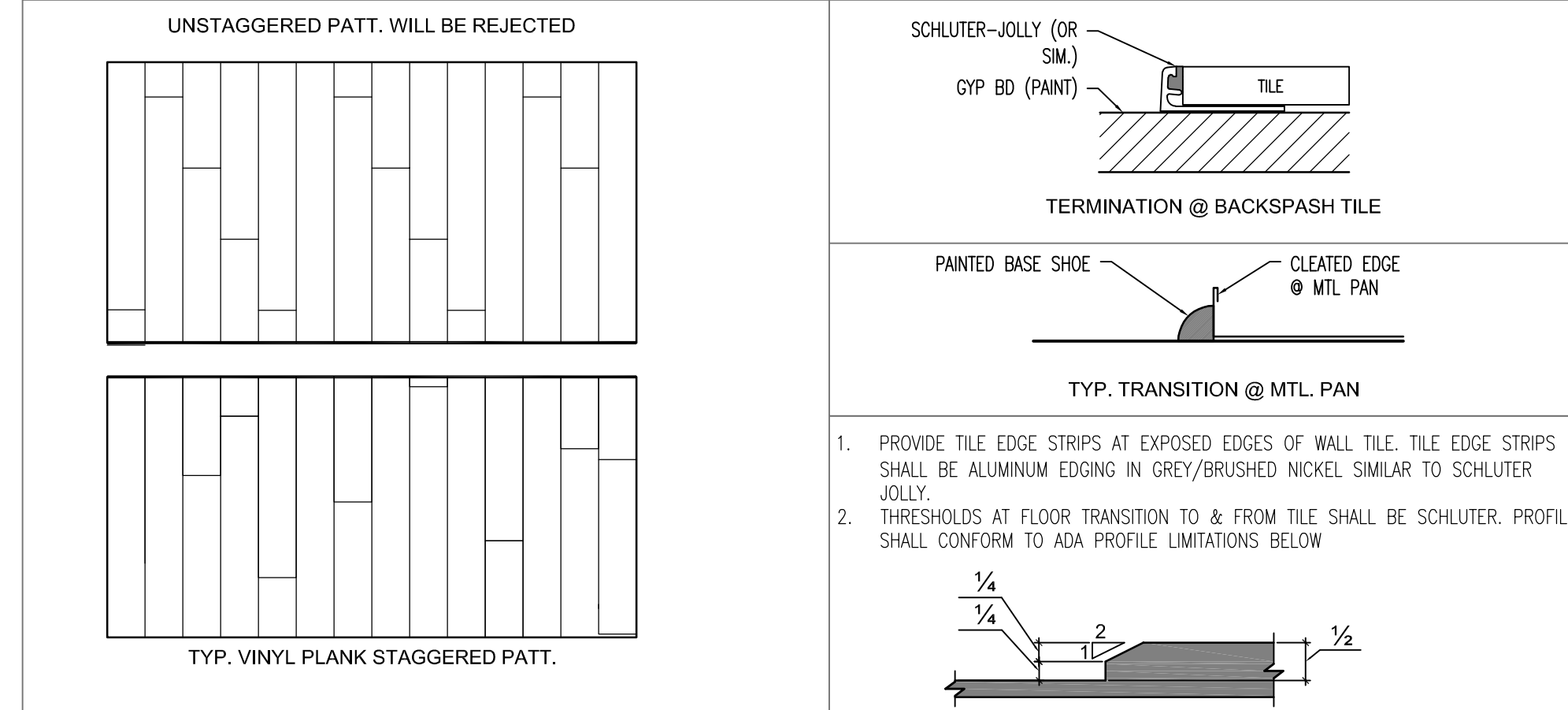
ROOM	FLOOR	WALLS	CEILING	NOTES					
RM#	ROOM	MAT'L	BASE	N	S	E	W	MAT'L	NOTES
301	STAIR	WD/ST-1	WD/ST-1	PT-4	PT-4	PT-4	PT-4	PT-3	---
201	STAIR	WD/ST-1	WD/ST-1	PT-4	PT-4	PT-4	PT-4	PT-3	---
101	STAIR	WD/ST-1	WD/ST-1	PT-4	PT-4	PT-4	PT-4	PT-3	---
100	ENTRY	EX/CT	CT-4	PT-4	PT-4	PT-4	PT-4	PT-3	---
001	HALL	CT-4	CT-4	PT-4	PT-4	PT-4	PT-4	PT-3	---
002	CRAWL SPACE	EXIST.	---	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	---
003	CRAWL SPACE	EXIST.	---	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	---

1. STAIN EXISTING STAIR & GUARDRAILS, NEW STAIN SHALL MATCH EXISTING.
2. AT STAIR PLASTER WALLS & CEILINGS: REPAIR DAMAGED PLASTER AND SKIM COAT ENTIRE STAIRWELL.
3. REMOVE DAMAGED TILE, NEW TILE SHALL MATCH EXIST SHAPE, COLOR, SIZE
4. REPAIR/REPLACE ALL TILE & MARBLE AT PENETRATIONS OF REMOVED EQUIPMENT (RADIATORS)
5. UNIT ENTRY DOORS TO BE PAINTED PT-5, INTERIOR DOORS TO BE PAINTED PT-2

### FINISH SCHEDULES

FLOORING AND CEILINGS	FURNISHINGS	WALLS
<b>WD-1 (UNIT FLOOR)</b> MFR: UNFINISHED RED OAK STYLE: PERLITE LISTELLO COLOR: CARRARA <b>ST-1 (UNIT FLOOR)</b> MFR: SHERWIN WILLIAMS STYLE: WOOD CLASSICS COLOR: SW3135-K NEW EBONY *FINAL SELECTION UPON ARCHITECTS APPROVAL <b>CT-1 (BATHROOM FLOOR)</b> MFR: DAL TILE STYLE: MOSAIC COLORBODY PORCELAIN COLOR: ARTIC WHITE D617 SIZE: 1" HEXAGON GROUT: MAPEI #00 WHITE CONTACT: MICHELLE LEBBING 314.249.9810 <b>CT-2 (BATHROOM FLOOR/TUB SURROUND)</b> MFR: TRENDS IN TILE STYLE: VEIN A COLOR: WHITE SIZE: 12"x24" PLAIN FIELD TILE GROUT: MAPEI #11 SAHARA BEIGE CONTACT: MITCH TULLY 314.209.7719	<b>SS-1 (COUNTERTOP @ KITCHEN)</b> MFR: CAMBRIA STYLE: LUXURY SERIES COLOR: QUEEN ANNE CONTACT: HILLARY LENZEN 314.750.6759 <b>SS-2 (BATH)</b> MFR: CAMBRIA STYLE: MARBLE COLLECTION COLOR: BRITANNICA CONTACT: HILLARY LENZEN 314.750.6759 <b>CAB-1 (KITCHEN)</b> MFR: ADVANTA CABINETS STYLE: CALIBRA II COLOR: ALPINE WHITE HARDWARE: 146SN FINISH: SATIN NICKEL <b>CAB-2 (KITCHEN)</b> MFR: ADVANTA CABINETS STYLE: CALIBRA II HARDWARE: 40SN FINISH: SATIN NICKEL	<b>PT-1 (GENERAL UNIT WALL PAINT COLOR)</b> MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY (SW7029) FINISH: SATIN <b>PT-2 (TRIM PAINT COLOR)</b> MFR: SHERWIN WILLIAMS COLOR: PURE WHITE (SW7005) FINISH: SATIN <b>PT-3 (CEILING PAINT COLOR)</b> MFR: SHERWIN WILLIAMS COLOR: CEILING BRIGHT WHITE SW7007 FINISH: FLAT <b>PT-4 (GENERAL STAIR WALL)</b> MFR: PPG COLOR: PP1006-3 EARLY EVENING FINISH: EGGSHELL <b>PT-5 (UNIT DOORS)</b> MFR: PPG COLOR: SO SUBLIME 1006-5 FINISH: EGGSHELL <b>PT-6 (STAIR TRIM STAIN)</b> MFR: SHERWIN WILLIAMS COLOR: SW3135K NEW EBONY FINISH: SATIN

### FINISH INDEX



### GENERAL FINISH INFORMATION

DOOR	DR#	ROOM	DOOR SIZE	TYPE	MAT'L	FINISH	GLASS	MAT'L	FINISH	PROF	HDWR	GROUP	LABEL	NOTES
U01A	ENTRY	3'-0" x 6'-8"	A	SC	PT	---	MTL	STN	1	103	1HR			Door size is approximate & shall be field verified
U01B	ENTRY	3'-0" x 6'-8"	A	SC	PT	---	MTL	PT	1	103	1.5HR			Door size is approximate & shall be field verified
U05A	BATHROOM	2'-8" x 6'-8"	B	WD	PT	---	WD	PT	2	U02	---			---
U06A	BEDROOM	2'-8" x 6'-8"	B	WD	PT	---	WD	PT	2	U01	---			---
U07A	CLOS.	PR 2'-0" x 6'-8"	B	WD	PT	---	WD	PT	2	U04	---			---
U08A	BEDROOM	2'-8" x 6'-8"	B	WD	PT	---	EXIST.	PT	EXIST.	U01	---			Door size is approximate & shall be field verified
U09A	CLOS.	PR 2'-0" x 6'-8"	B	WD	PT	---	WD	PT	2	U04	---			---
U10A	BEDROOM	2'-8" x 6'-8"	B	WD	PT	---	WD	PT	2	U01	---			---
U11A	CLOS.	PR 2'-0" x 6'-8"	B	WD	PT	---	WD	PT	2	U04	---			---
U12A	CLOS.	1'-6" x 6'-8"	B	WD	PT	---	EXIST.	PT	EXIST.	U03	---			Door size is approximate & shall be field verified
U13A	BATHROOM	2'-8" x 6'-8"	B	WD	PT	---	EXIST.	PT	EXIST.	U02	---			Door size is approximate & shall be field verified
U15A	CLOS.	PR 2'-6" x 6'-8"	B	WD	PT	---	WD	PT	2	U04	---			---
U16A	CLOS.	1'-6" x 6'-8"	B	WD	PT	---	WD	PT	2	U03	---			---
U17A	MECH.	PR 1'-3" x 6'-8"	B	WD	PT	---	WD	PT	2	U05	---			Bifold

ALL DOORS & CASING @ UNIT 2E SHALL BE STAINED TO MATCH EXISTING STAINED DOORS

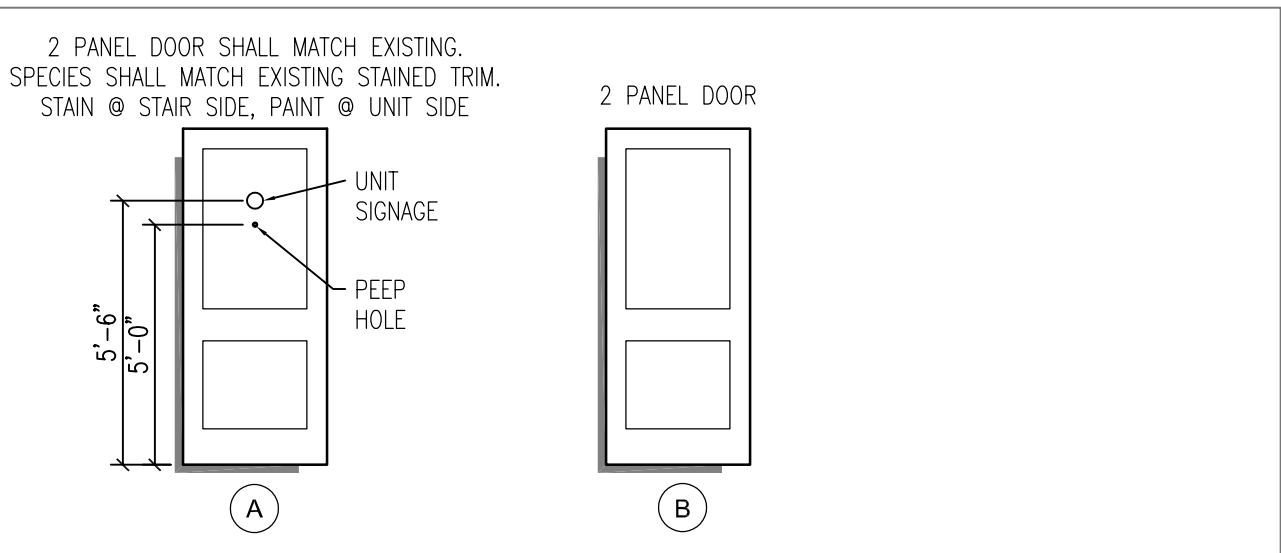
DOOR	DR#	ROOM	DOOR SIZE	TYPE	MAT'L	FINISH	GLASS	MAT'L	FINISH	PROF	HDWR	GROUP	LABEL	NOTES
001A	CORRIDOR	2'-8" x 6'-8"	B	HM	PT	---	HM	PT	4	102	1.5HR			Door size is approximate & shall be field verified
001B	CORRIDOR	3'-0" x 6'-8"	B	HM	PT	---	HM	PT	3	102	---			---
001C	CORRIDOR	3'-0" x 6'-8"	B	HM	PT	---	HM	PT	4	105	1.5HR			Door size is approximate & shall be field verified
001D	CORRIDOR	2'-8" x 6'-8"	B	HM	PT	---	HM	PT	4	105	1.5HR			Door size is approximate & shall be field verified
003E	CRAWL SPACE	3'-0" x 6'-8"	B	HM	PT	---	HM	PT	3	105	1.5HR			---

DOOR	DR#	ROOM	DOOR SIZE	TYPE	MAT'L	FINISH	GLASS	MAT'L	FINISH	PROF	HDWR	GROUP	LABEL	NOTES
100A	ENTRY		EXIST.	EXIST.	EXIST.	STN	T/I	EXIST.	STN	EXIST.		101	---	---

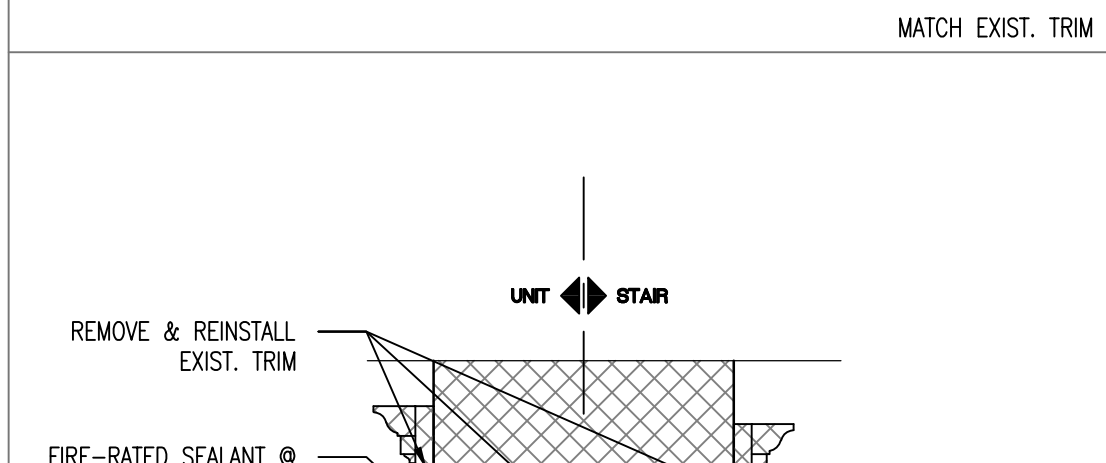
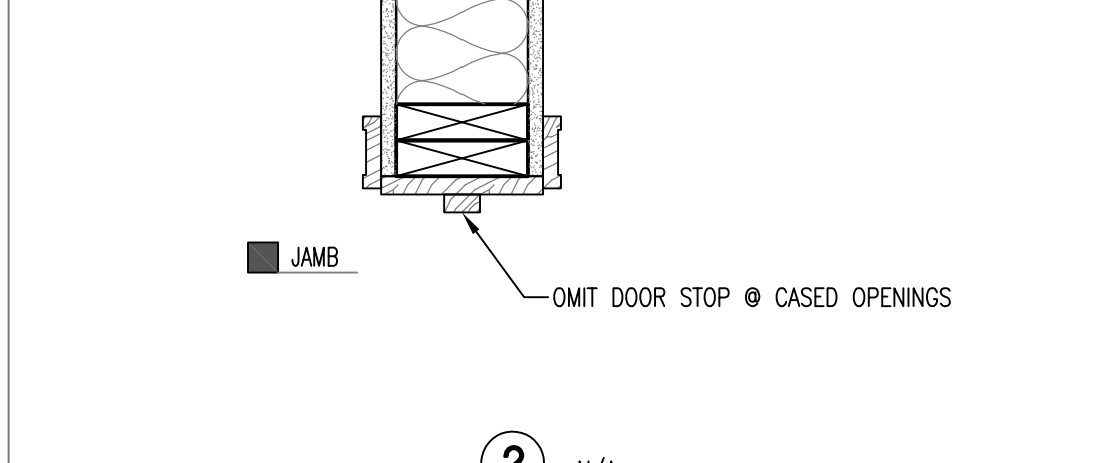
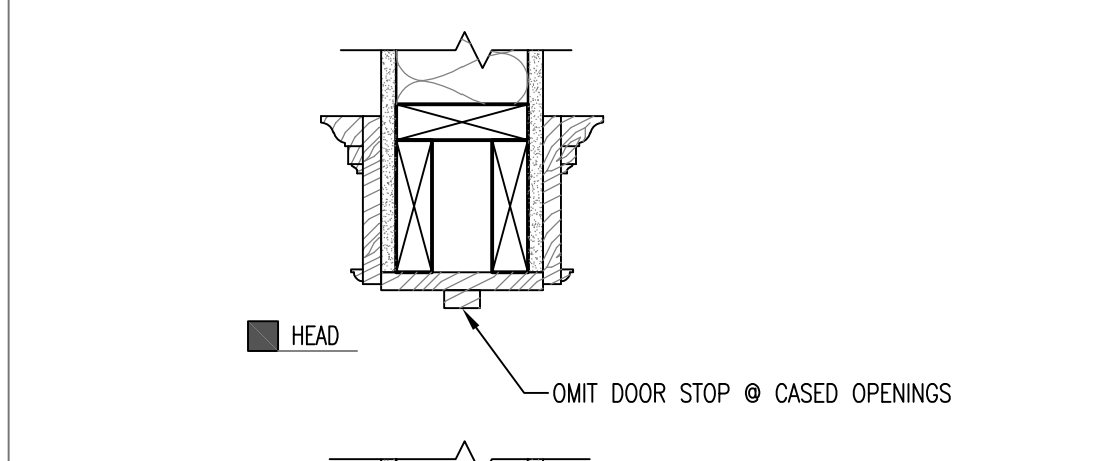
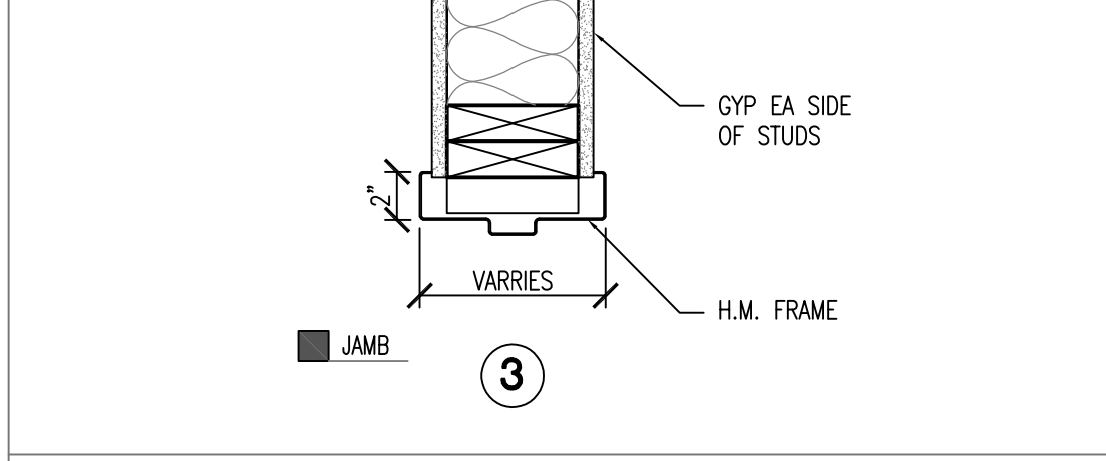
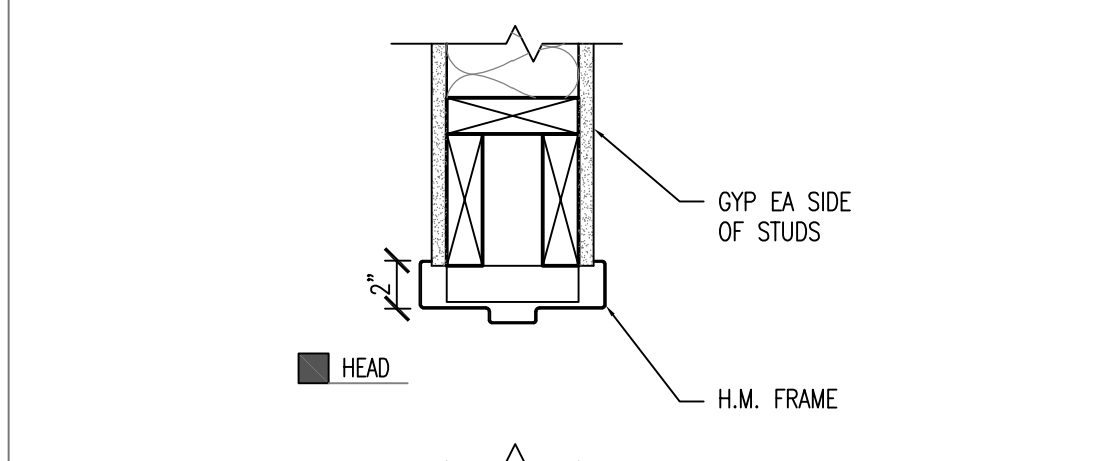
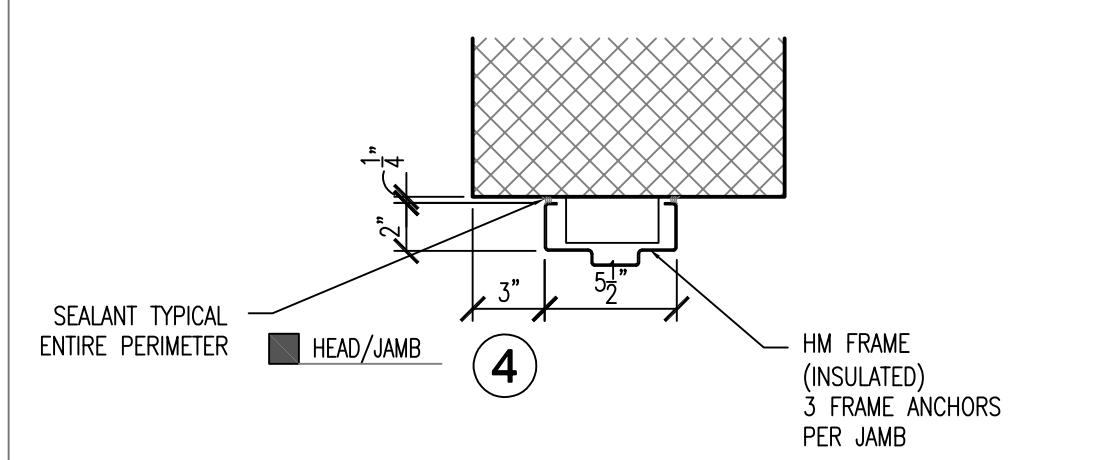
### DOOR SCHEDULES

SINGLE DOORS	APARTMENT DOORS
<b>GROUP 101 - MAIN BUILDING ENTRY</b> (1/2) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) (1) DOOR STOP (FLOOR MT) LOW PROFILE CLOSER THRESHOLD + WEATHERSTRIPPING BOTTOM SWEEP ENTRY SYSTEM W/ ELECTRIFIED STRIKE SILENCERS <b>GROUP 102 - REAR BUILDING ENTRY</b> (1/2) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) (1) DOOR STOP (FLOOR MT) LOW PROFILE CLOSER THRESHOLD + WEATHERSTRIPPING BOTTOM SWEEP SILENCERS <b>GROUP 104 - DECK ENTRY DOORS</b> (3) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) LOCK PINS T&B (1) DOOR STOP (FLOOR MT) THRESHOLD + WEATHERSTRIPPING BOTTOM SWEEP <b>GROUP 105 - BASEMENT</b> (1/2) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) DOOR STOP FIRE AND SMOKE SEALS (1) LOW PROFILE CLOSER	<b>GROUP 103 - UNIT ENTRY DOOR</b> (1/2) PAIR BUTT HINGES (1 PAIR SPRING HINGES, 1/2 PAIR BUTT HINGES) (1) LOCKSET (PASSAGE SET) DEAD BOLT WITH THUMB TURN (1) DOOR STOP (FLOOR MT) FIRE AND SMOKE SEALS (1) PEEP HOLE UNIT NUMBER SIGNAGE SILENCERS <b>GROUP 104 - DECK ENTRY DOORS</b> (3) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) LOCK PINS T&B (1) DOOR STOP (FLOOR MT) THRESHOLD AND WEATHERSTRIPPING BOTTOM SWEEP <b>GROUP 105 - BASEMENT</b> (1/2) PAIR BUTT HINGES (1) LOCKSET (CLASSROOM SET) DOOR STOP FIRE AND SMOKE SEALS (1) LOW PROFILE CLOSER

### HARDWARE GROUPS



### DOOR TYPES



1. EXTERIOR DOORS SHALL RECEIVE A THRESHOLD, WEATHERSTRIPPING, FULL PERIMETER SEALANT, AND A BOTTOM SWEEP.
2. EXTERIOR DOOR FRAMES SHALL BE INSULATED.
3. RATED DOORS SHALL HAVE FIRE AND SMOKE SEALS AROUND ENTIRE PERIMETER.
4. RATED DOORS SHALL BE LOCATED IN FRAMES OF EQUIVALENT RATINGS.
5. GLAZING IN UNRATED DOORS SHALL BE TEMPERED.
6. GLAZING IN EXTERIOR DOORS SHALL BE INSULATED.
7. GLAZING IN RATED DOORS SHALL BE WIRE GLAZING OR FIRE GLAZING.
8. PROVIDE (1/2) PAIR OF BUTT HINGES AT ALL SINGLE DOORS LESS THAN 96" TALL U.N.O. PROVIDE (2) PAIR OF BUTT HINGES AT ALL SINGLE DOORS 96" TALL OR GREATER U.N.O. PROVIDE (3) PAIR OF BUTT HINGES AT ALL DOUBLE DOORS LESS THAN 96" TALL U.N.O. PROVIDE (4) PAIR OF BUTT HINGES AT ALL DOUBLE DOORS 96" TALL OR GREATER U.N.O.
9. COORDINATE DOOR ALARM AND ELECTRIC CONTACTS WITH ELECTRICAL CONTRACTOR AND BRING ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.
10. CONTRACTOR SHALL COORDINATE A KEYING SCHEDULE WITH THE OWNER/ARCHITECT.
11. RE-USE EXISTING DOORS INSIDE UNITS WHERE POSSIBLE

### GENERAL DOOR NOTES

### FRAME PROFILE NOTES

1. ALL FRAME TYPES DRAWN @ 1/2"=1'-0" SCALE.
2. WHERE FRAME INSET DIMENSION IS NOT GIVEN, FRAME SHALL BE CENTERED ON WALL WIDTH.
3. ALL WOOD BLOCKING TO SHALL BE 2" NOMINAL.
4. PROVIDE DOUBLED STUDS @ EACH JAMB.
5. PROVIDE SEALANT AT ENTIRE PERIMETER OF BOTH SIDES OF FRAME.
6. ALL HOLLOW METAL FRAMES IN EXTERIOR WALLS SHALL BE INSULATED.
7. IN FIRE-RATED OPENINGS, THE DOOR FRAME SHALL MATCH REQUIRED FIRE-RATING OF THE DOOR.

### FRAME PROFILES

7/31/2017 12:10 PM

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2017.07.22 CITY COMM.

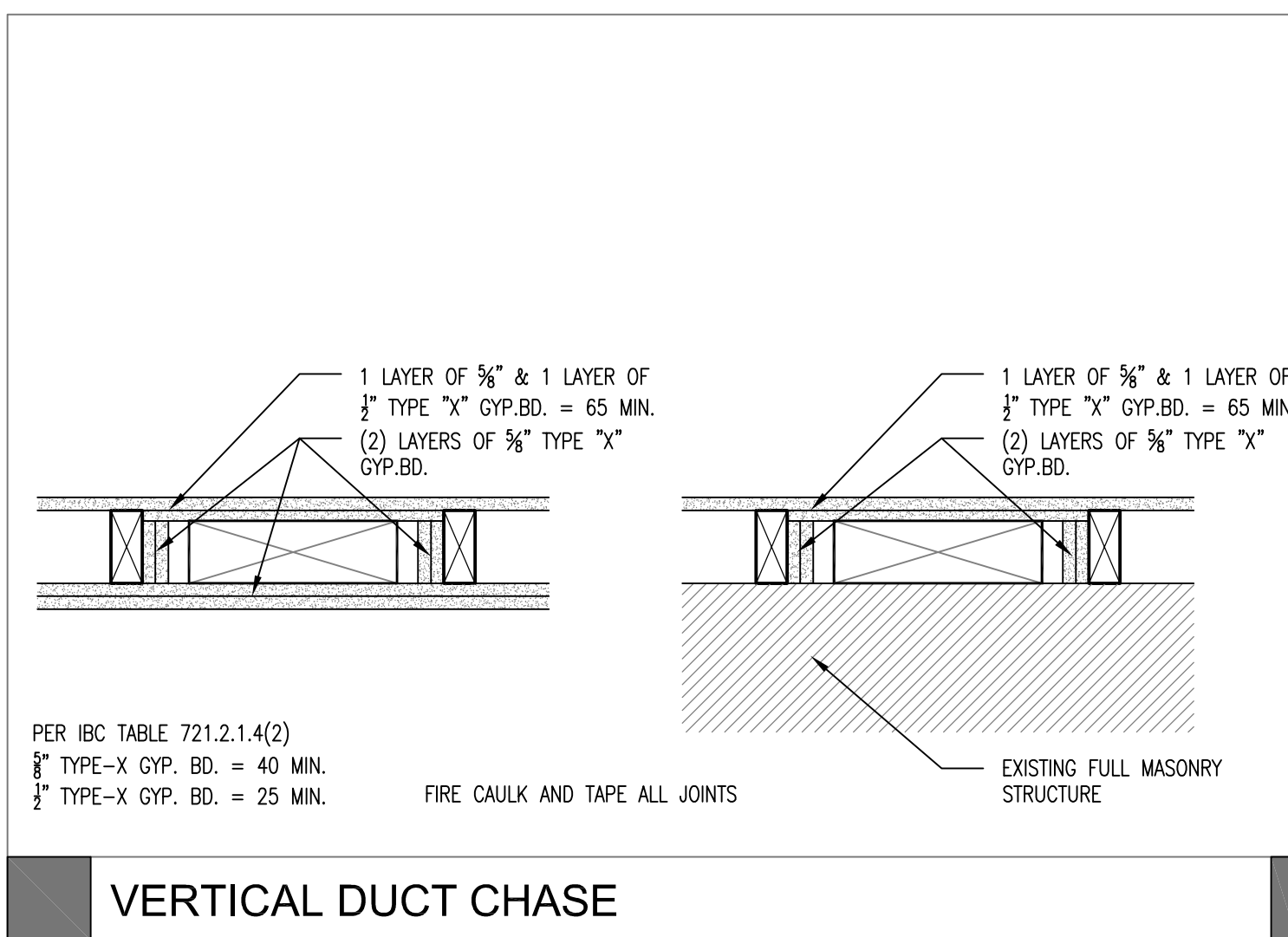
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SHCEDULES

**A4.1**

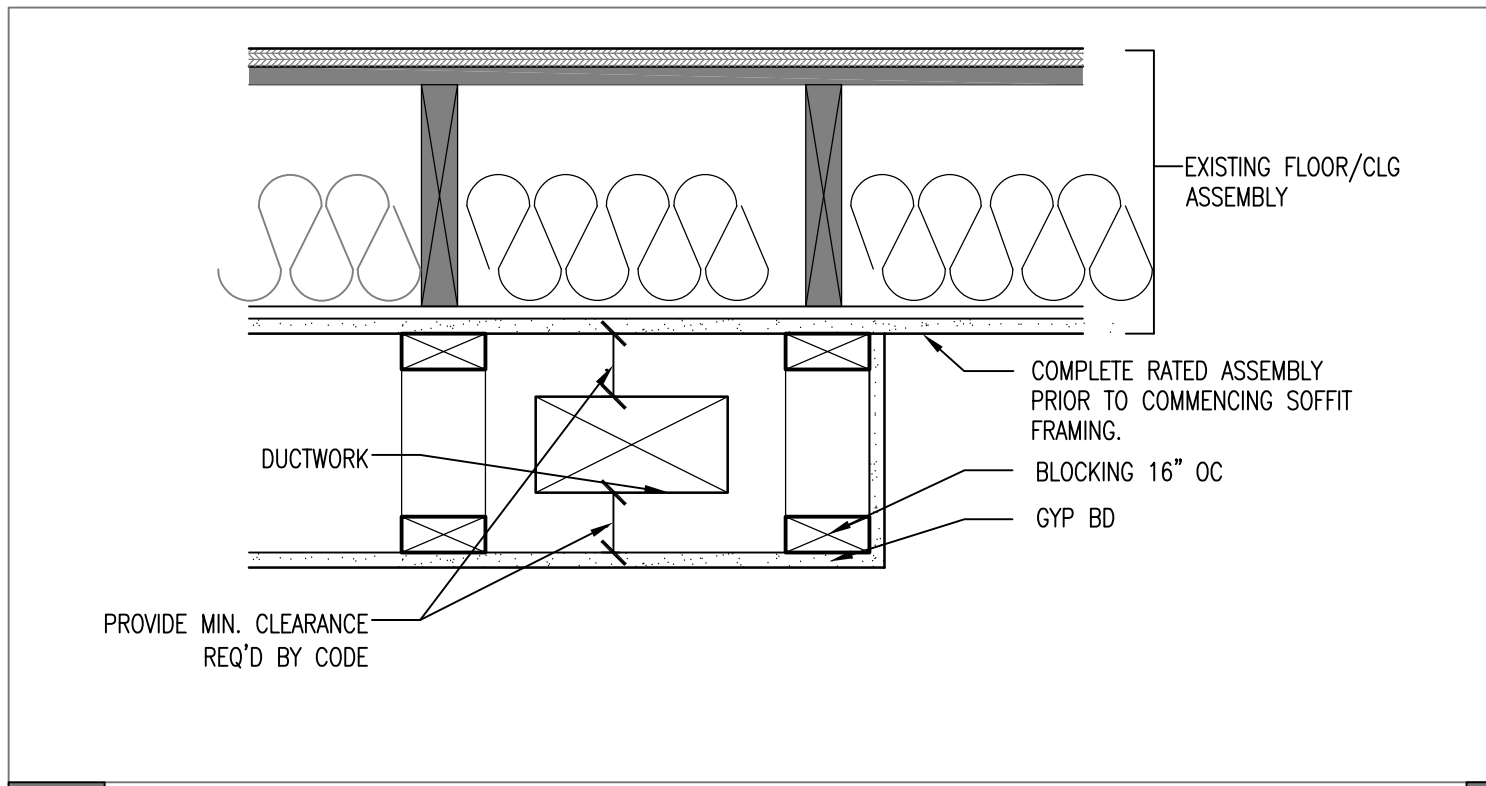
FRAME PROFILES

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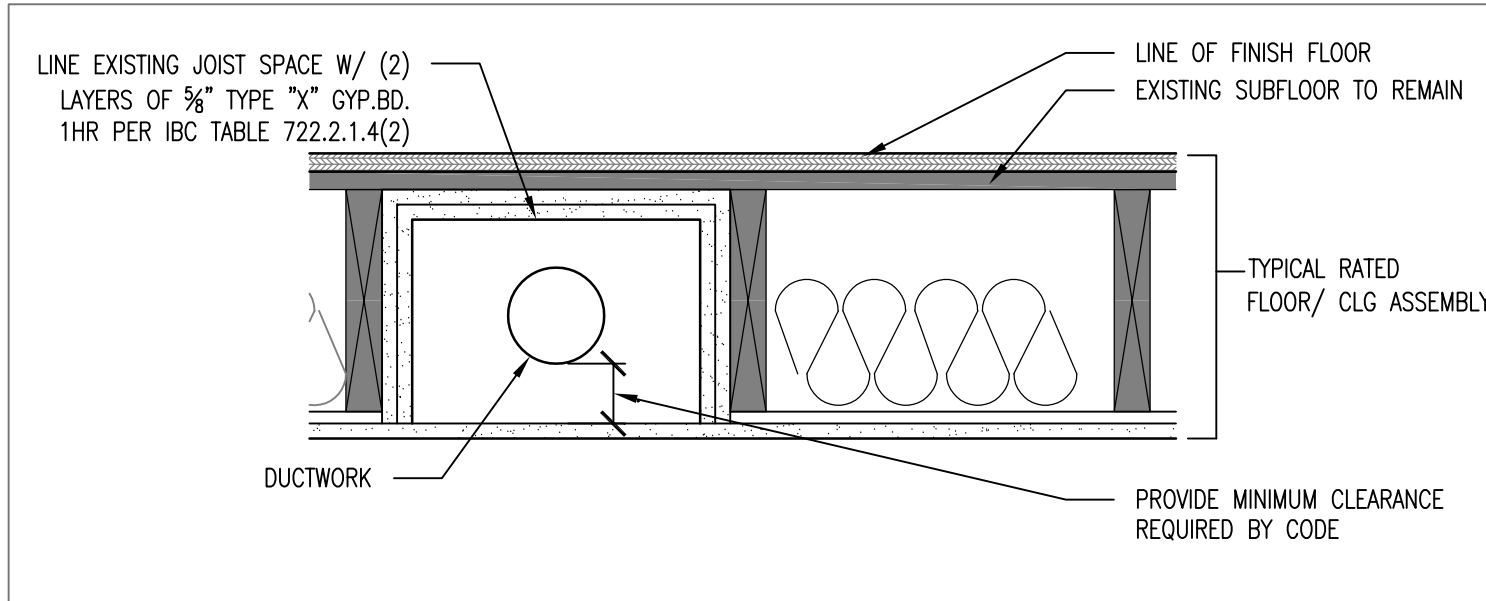




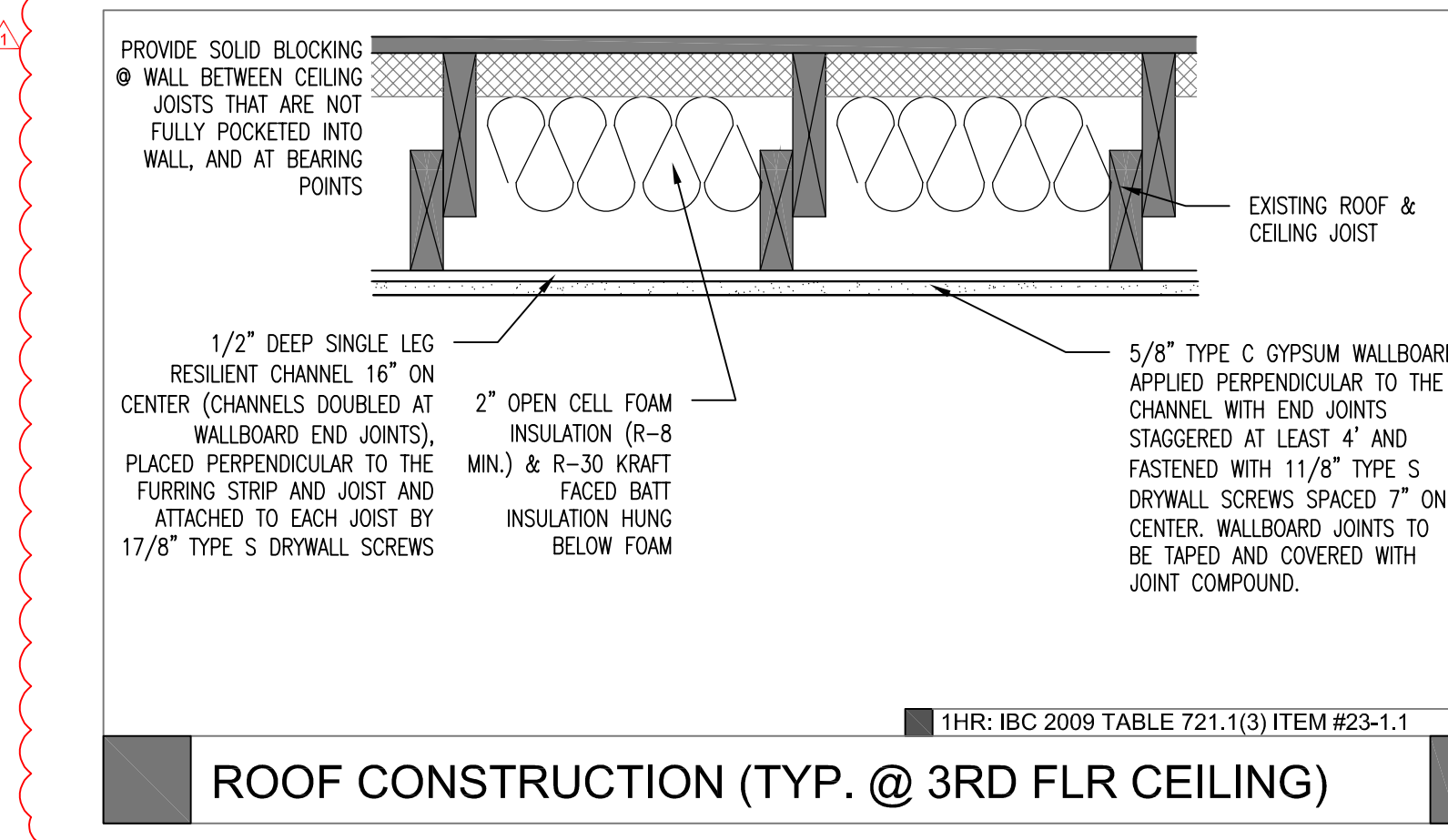
**VERTICAL DUCT CHASE**



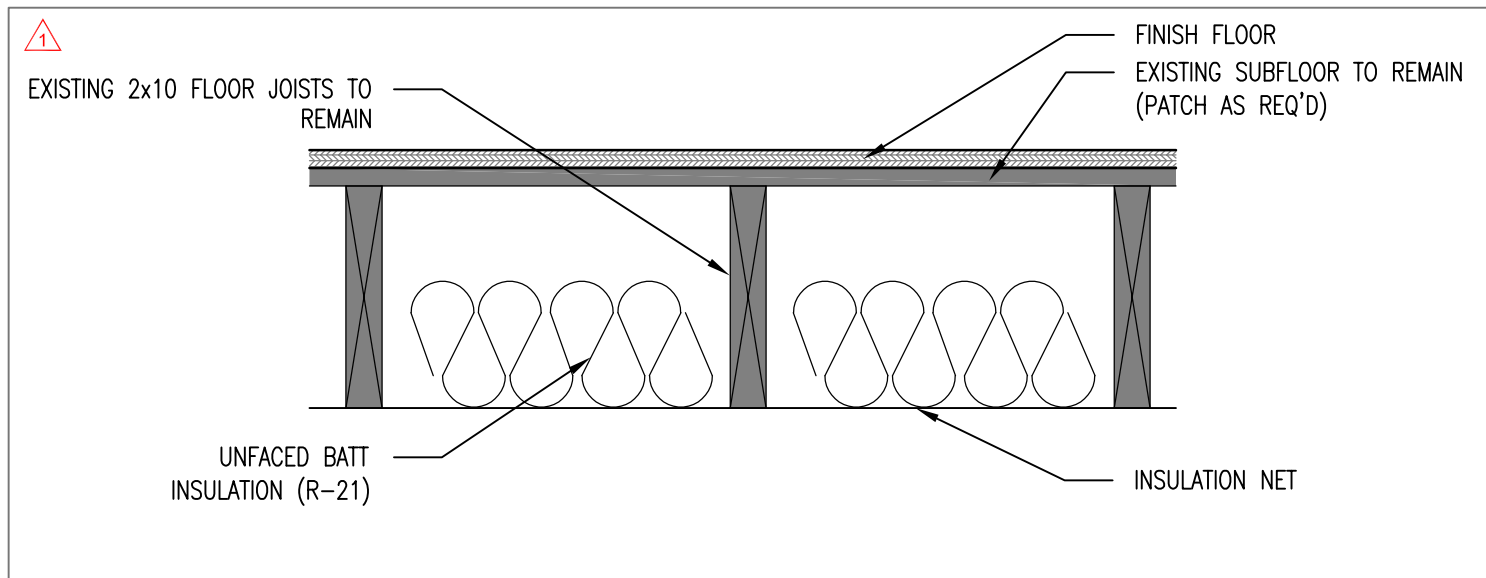
**SOFFIT BELOW RATED ASSEMBLY**



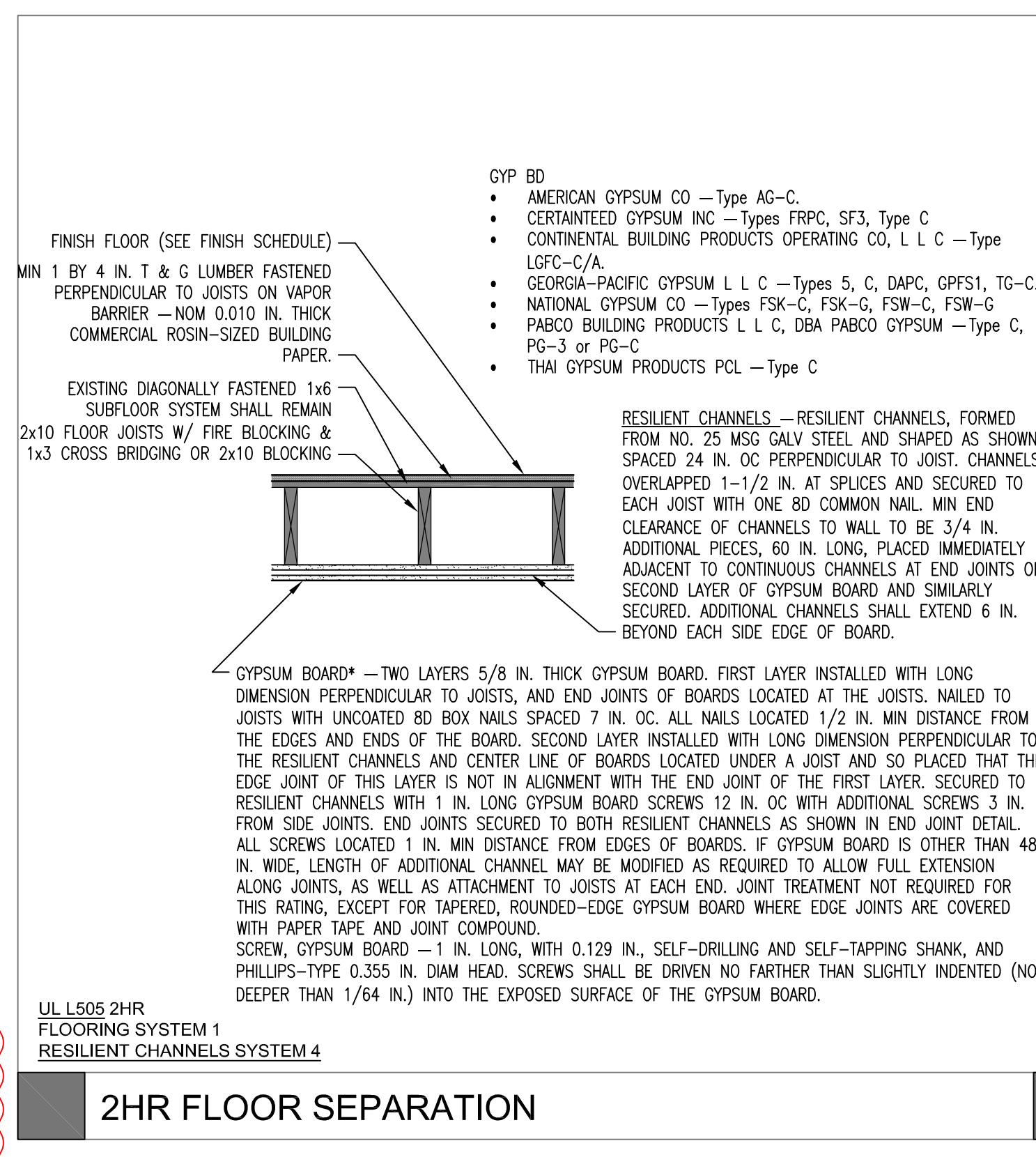
**RATED JOIST CHASE**



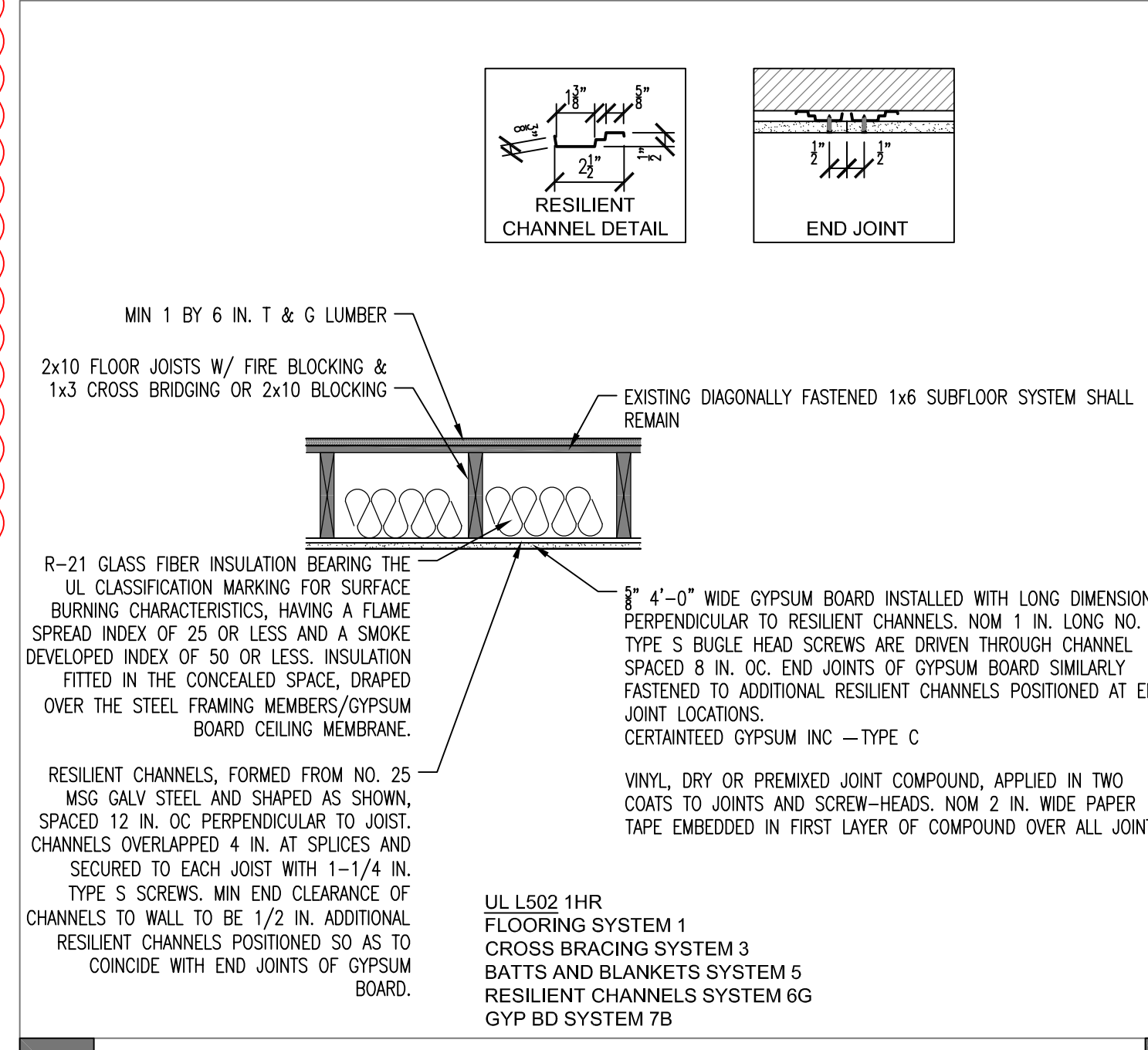
**ROOF CONSTRUCTION (TYP. @ 3RD FLR CEILING)**



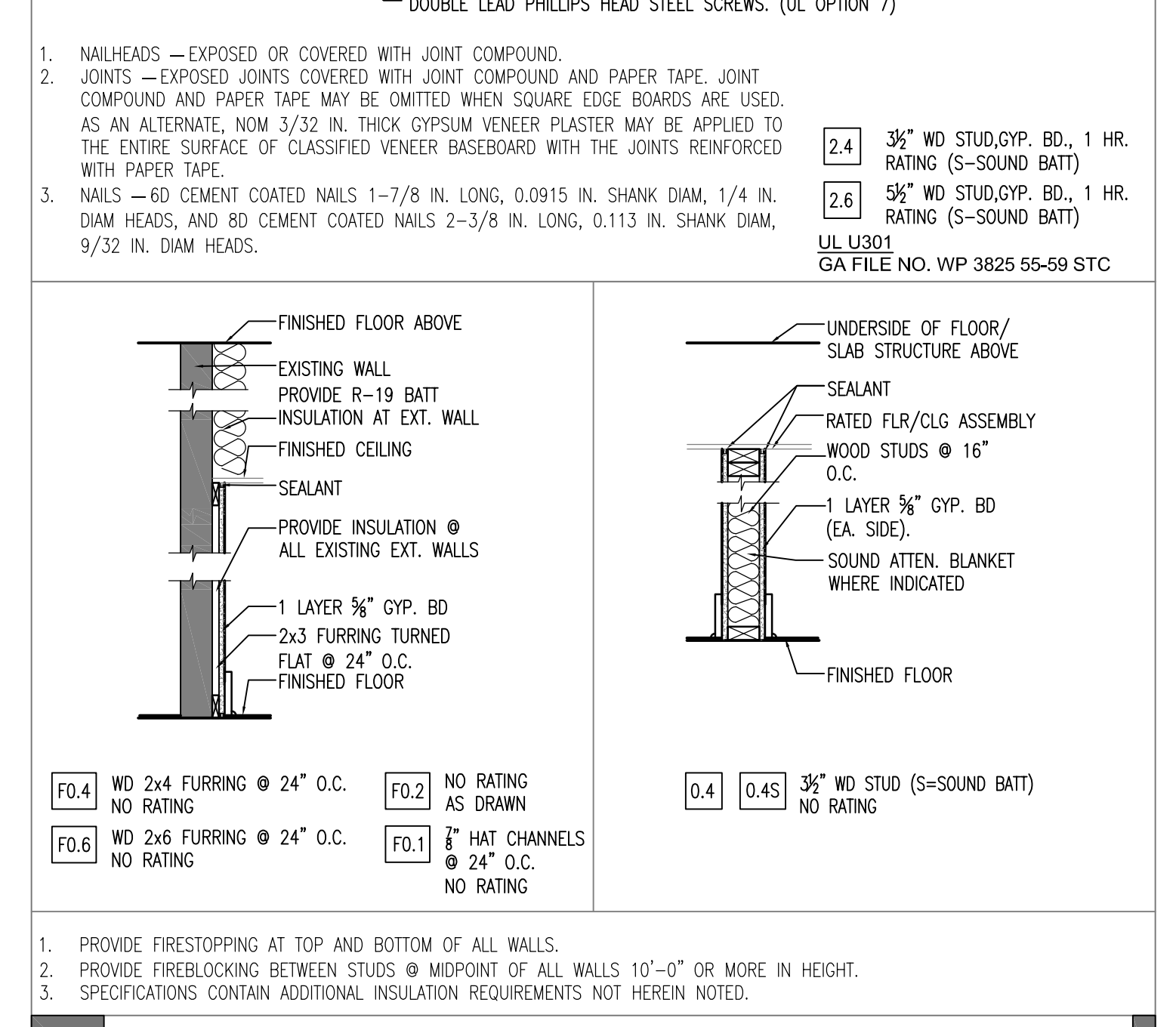
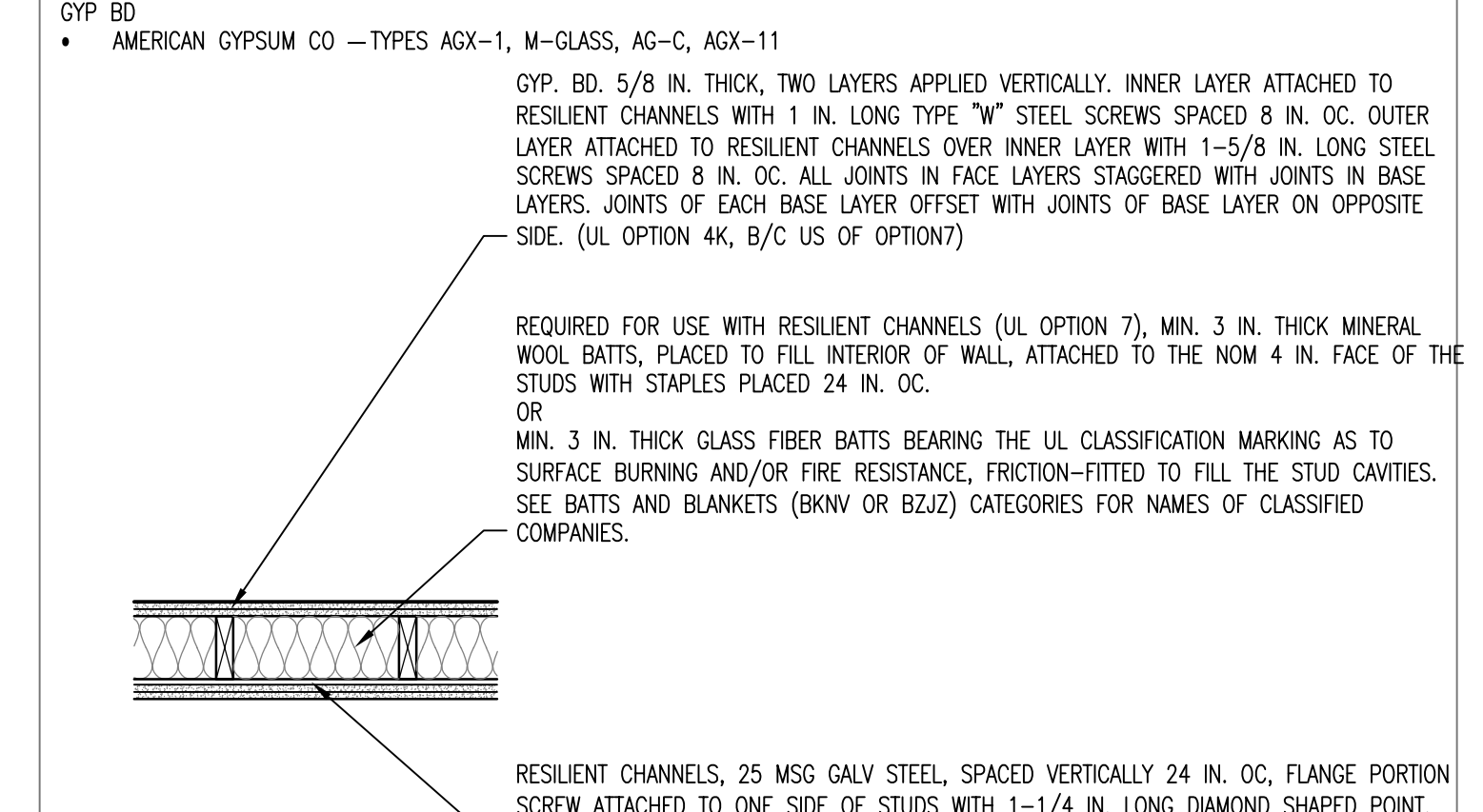
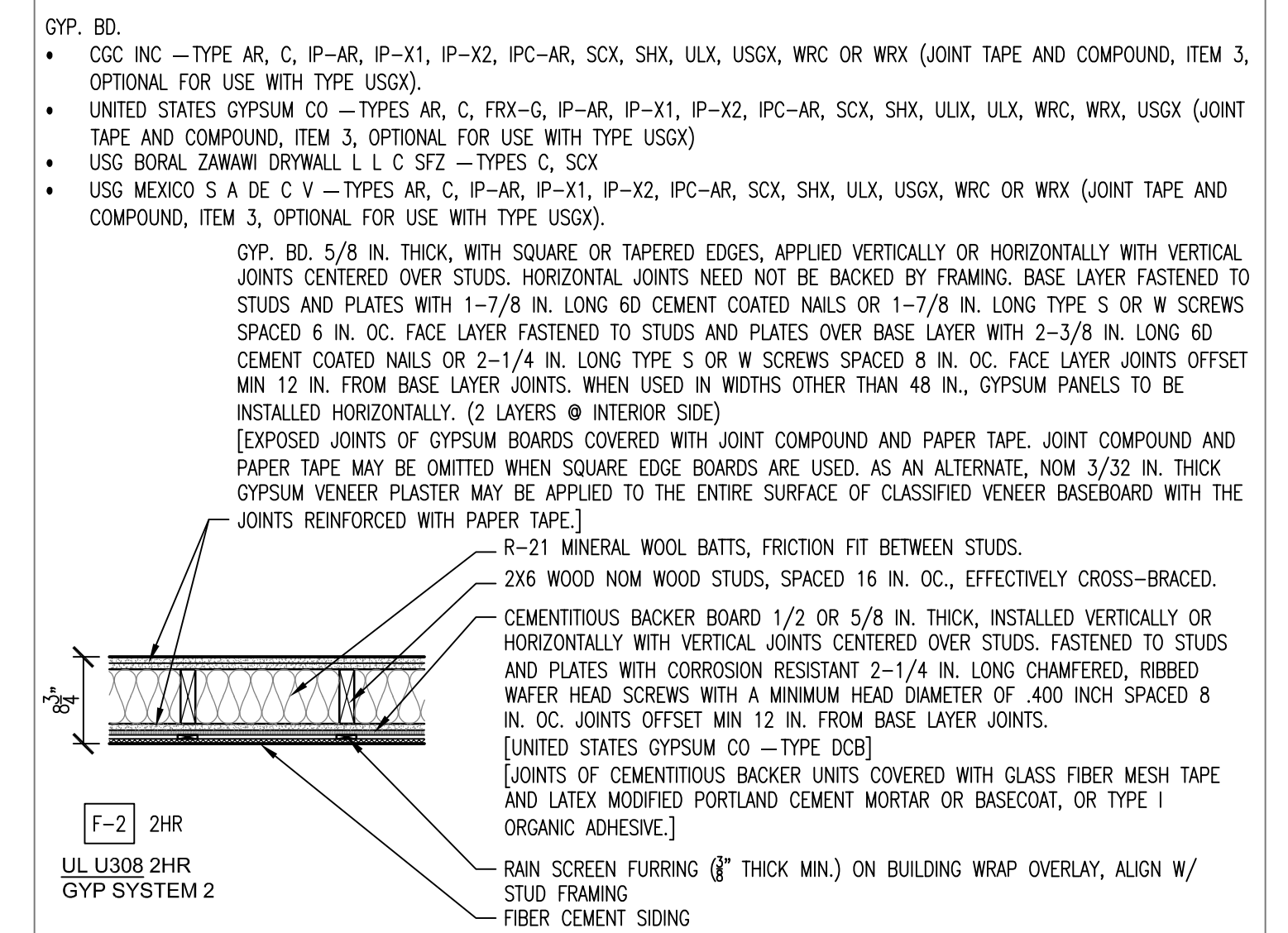
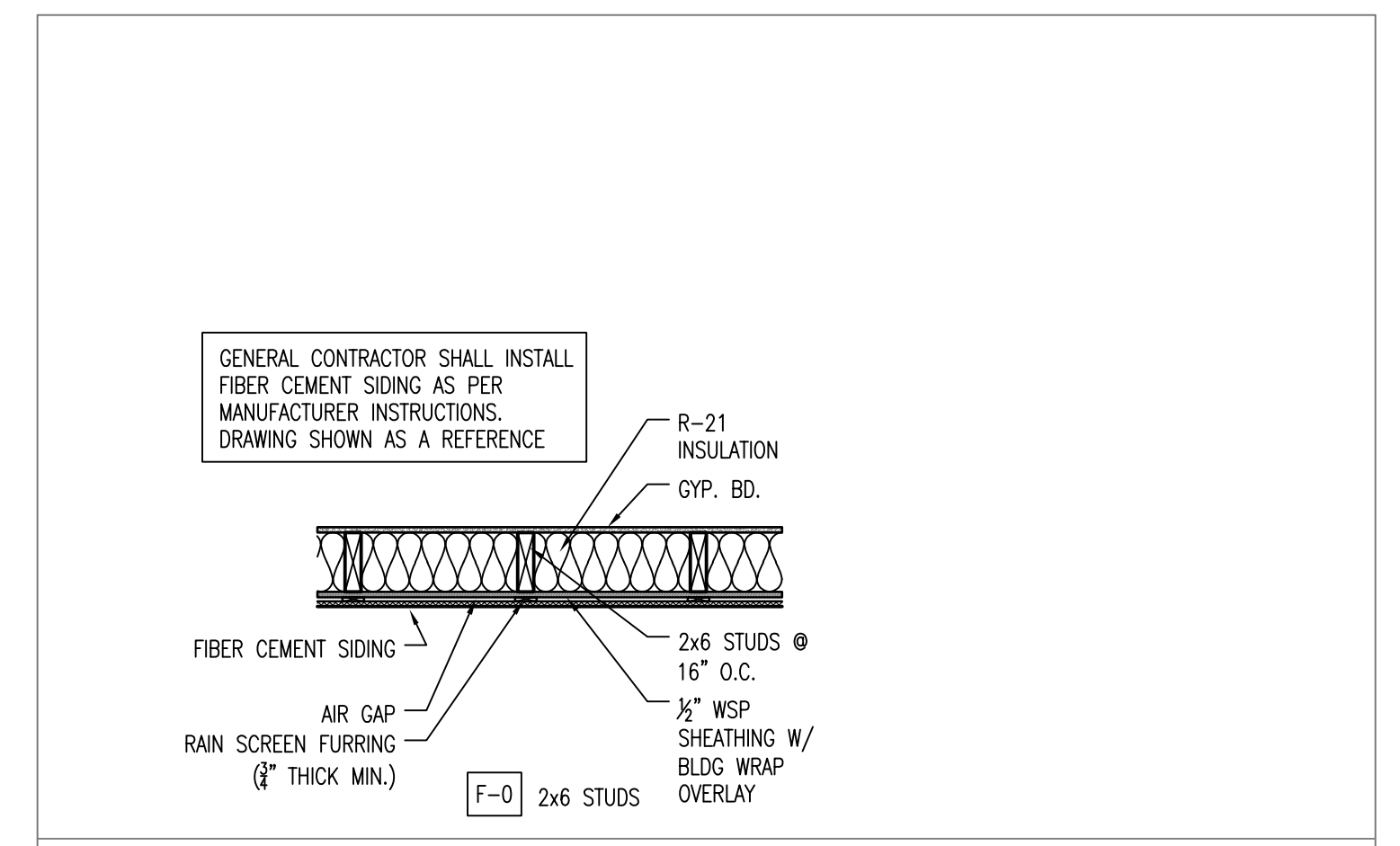
**UNRATED FLR CONSTRUCTION (TYP. @ CRAWL SPACE)**



**2HR FLOOR SEPARATION**



**1HR FLOOR CEING ASSEMBLY**



**PARTITION TYPES**

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**PROJECT STREET ST. LOUIS, MO 63112**

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MOW A-3920

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SHEET TITLE PARTITION TYPES	
<b>A4.2</b>	









**2 SOUTH ELEVATION**

A5.1 SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**

A5.1 SCALE: 1/4" = 1'-0"

- REMOVE AND REPLACE ALL ABANDONED PENETRATIONS IN BUILDING ENVELOPE
  - SCRAPE AND PAINT LINTELS
  - MORTAR SHALL MATCH EXISTING
  - REMOVE ALL ABANDONED HARDWARE FROM ALL FACADES
- REMOVE AND REPLACE ALL ABANDONED PENETRATIONS IN BUILDING ENVELOPE
- ⊕ WALL MOUNT LIGHT FIXTURE (MOUNTING HT @ MID POINT BETWEEN 1st AND 2nd STORY WINDOWS U.N.O.)
  - ◇ REMOVE AND REPLACE EXISTING STONE SILL
  - ◇ REMOVE AND RELAY EXISTING STONE SILL
  - ◇ REMOVE AND REPLACE EXISTING BRICK SILL
  - ◇ OBSCURED & TEMPERED GLASS
  - ◇ REPLACE OPENING W/ GLASS BLOCK
  - ◇ SECURITY SCREEN
  - ◇ SCRAPE AND PAINT BAY. REPLACE ROTTED TRIM
  - ◇ NEW COPPER ROOFING & FLASHING

 REBUILD ENTIRE WALL	 REBUILD AS REQD. TO MAKE PLUMB. TOOTH IN NEW BRICK VENEER.	 REPOINT
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**NOTES**

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 MO# A-3920

**RENOVATION TO**  
**5656 WATERMAN**  
**PROJECT STREET ST. LOUIS, MO 63112**

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SHEET TITLE  
EXTERIOR ELEVATIONS

**A5.1**

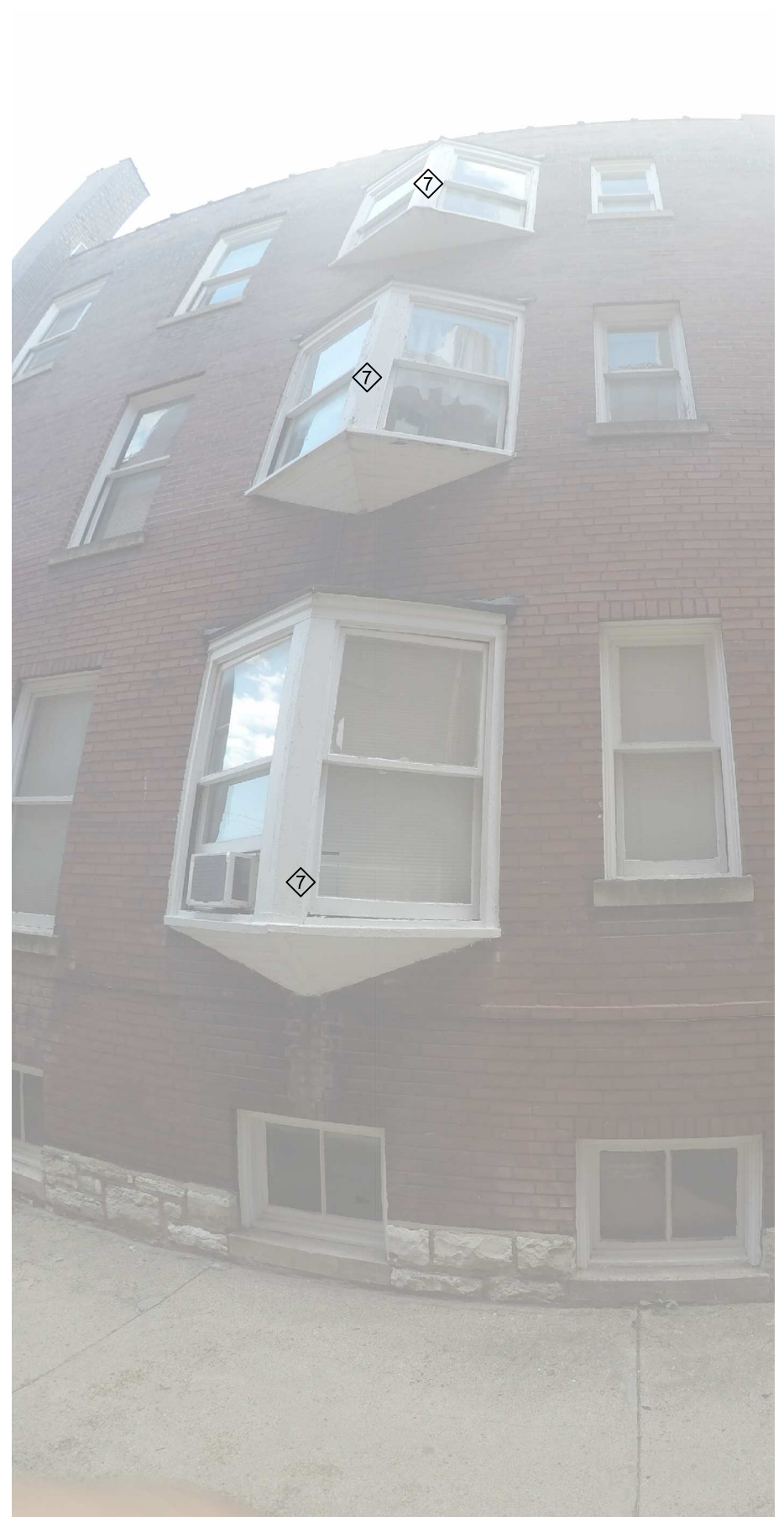
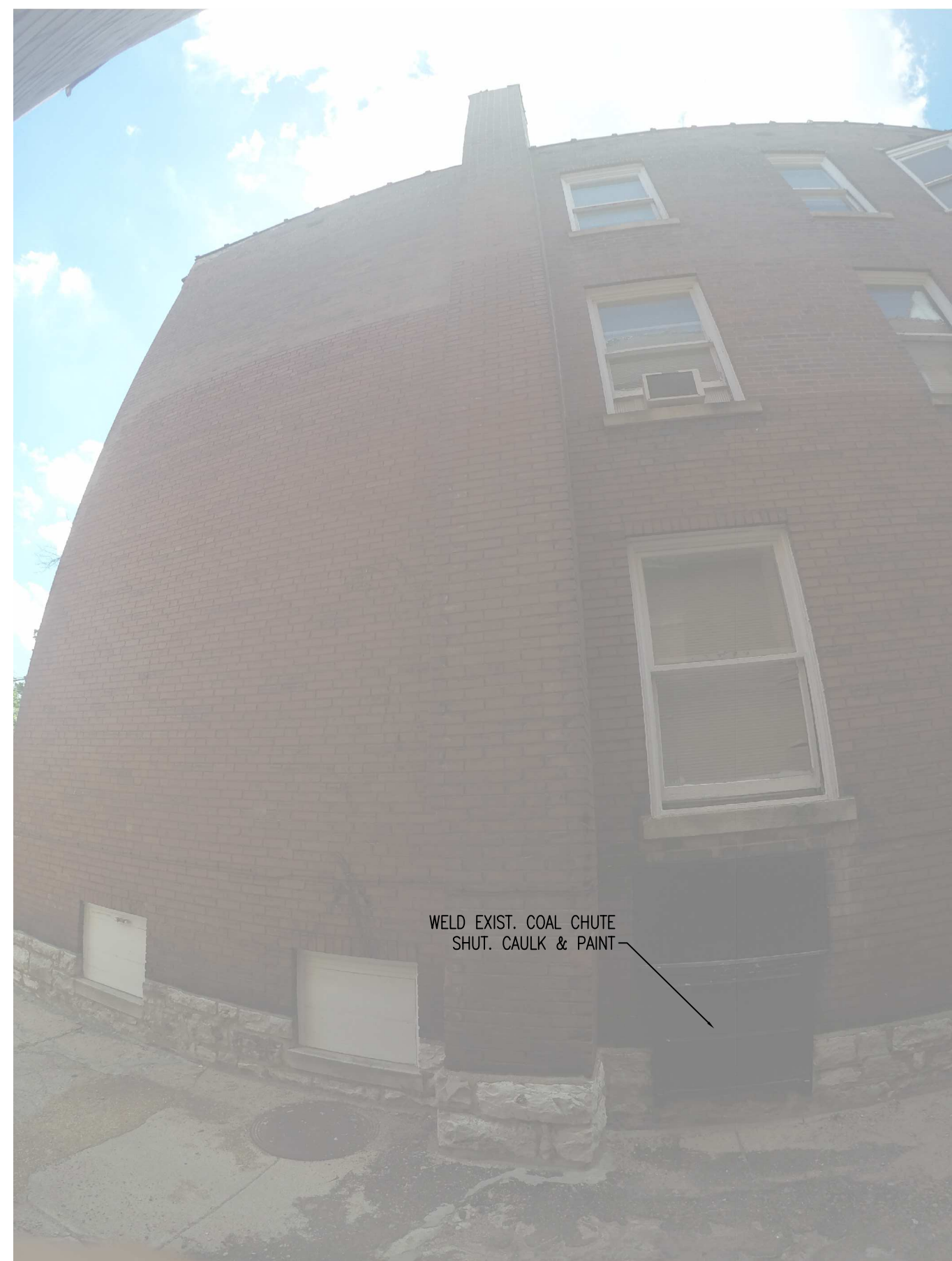
NOTIFY ARCHITECT IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT.





**2 WEST ELEVATION**

A5.2 SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**

A5.2 SCALE: 1/4" = 1'-0"

- REMOVE AND REPLACE ALL ABANDONED PENETRATIONS IN BUILDING ENVELOPE
  - SCRAPE AND PAINT LINTELS
  - MORTAR SHALL MATCH EXISTING
  - REMOVE ALL ABANDONED HARDWARE FROM ALL FACADES
- REMOVE AND REPLACE ALL ABANDONED PENETRATIONS IN BUILDING ENVELOPE
- ⊕ WALL MOUNT LIGHT FIXTURE (MOUNTING HT @ MID POINT BETWEEN 1st AND 2nd STORY WINDOWS U.N.O.)
  - ◇ REMOVE AND REPLACE EXISTING STONE SILL
  - ◇ REMOVE AND RELAY EXISTING STONE SILL
  - ◇ REMOVE AND REPLACE EXISTING BRICK SILL
  - ◇ OBLISCURED & TEMPERED GLASS
  - ◇ REPLACE OPENING W/ GLASS BLOCK
  - ◇ SECURITY SCREEN
  - ◇ SCRAPE AND PAINT BAY, REPLACE ROTTED TRIM
  - ◇ NEW COPPER ROOFING & FLASHING

	REBUILD ENTIRE WALL		REBUILD AS ROD. TO MAKE PLUMB. TOOTH IN NEW BRICK VENEER.		REPOINT
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**NOTES**

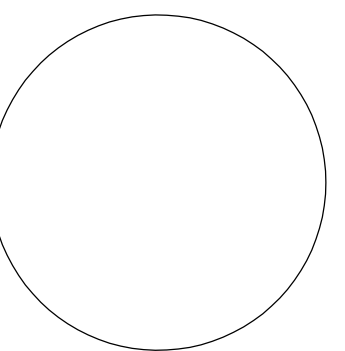
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SHEET TITLE  
EXTERIOR ELEVATION

**A5.2**

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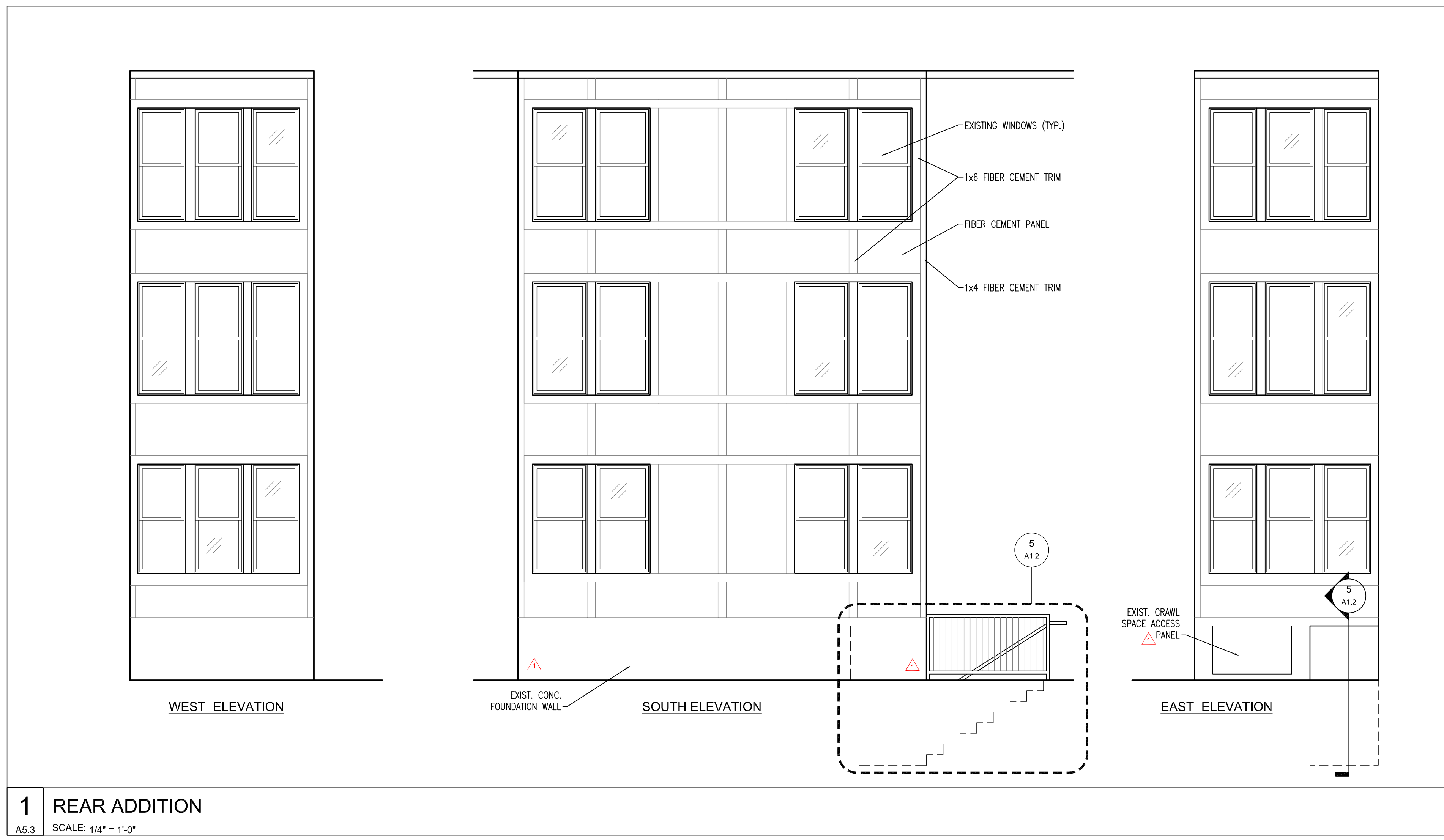
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MOW A-3920

DESIGN ALLIANCE  
architects

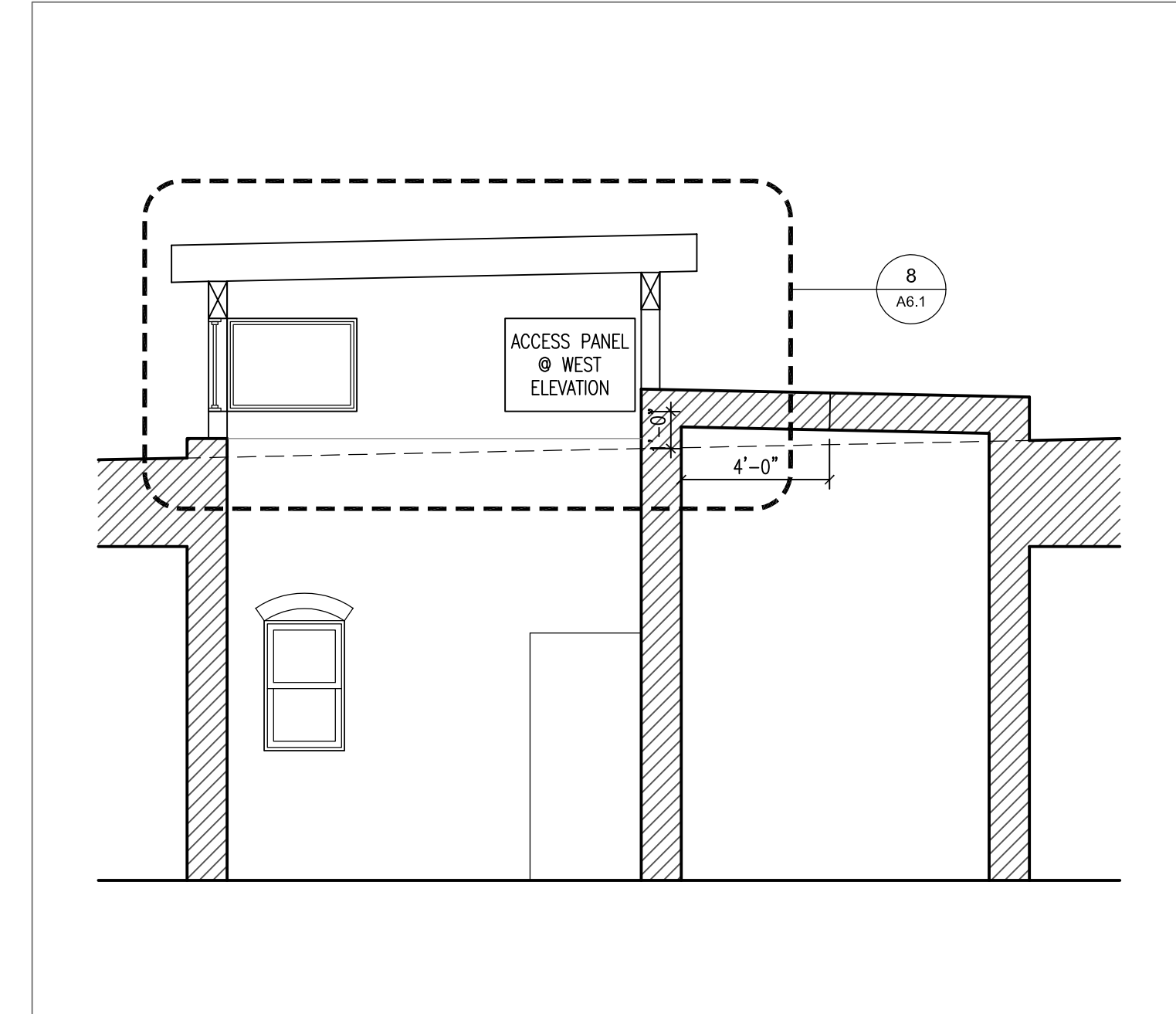
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PHONE 314.863.1313 FAX 314.863.1383 email: dda@daa.com

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**1 REAR ADDITION**  
A5.3 SCALE: 1/4" = 1'-0"



**2 LIGHT MONITOR SECTION (ALT#3)**  
A5.3 SCALE: 1/4" = 1'-0"

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 MO# A-3920

**DESIGN ALLIANCE**  
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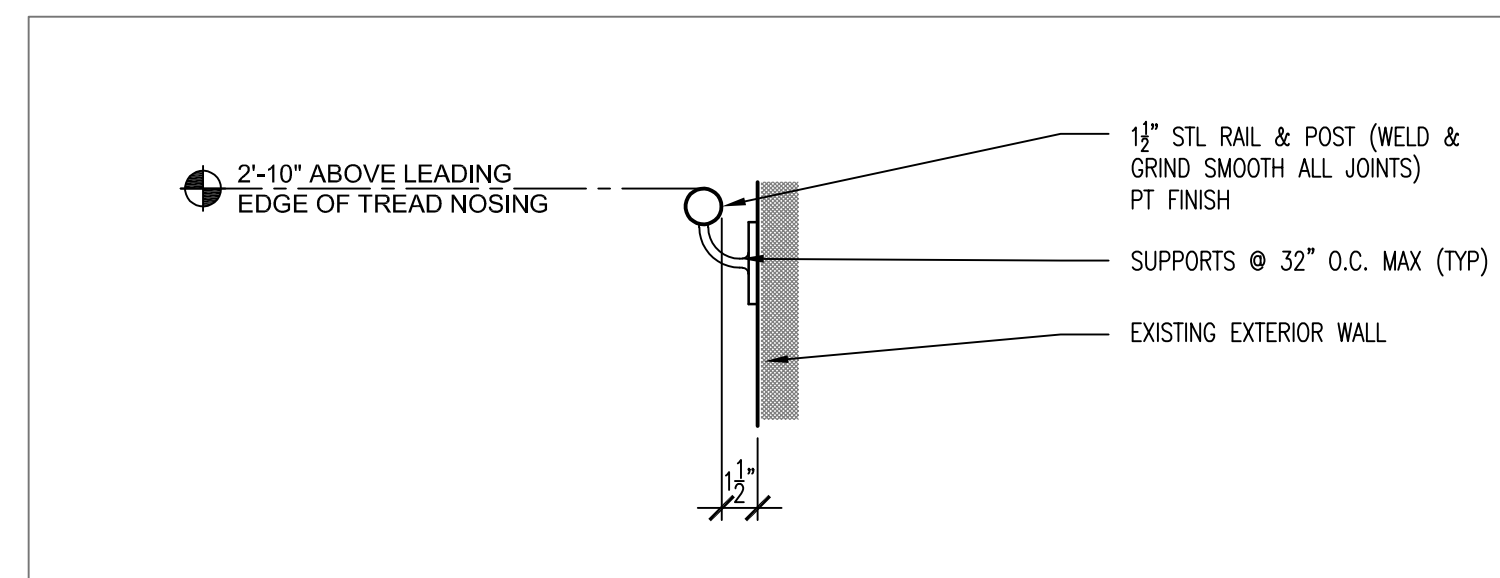
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 EXTERIOR ELEVATIONS

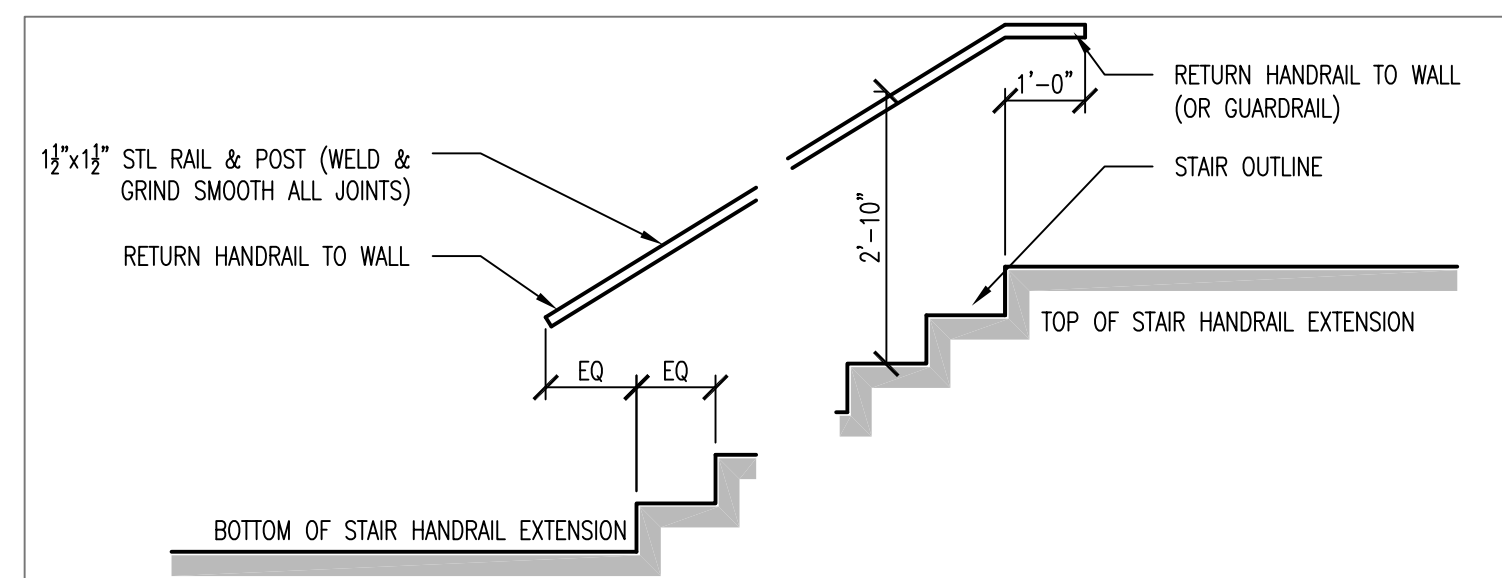
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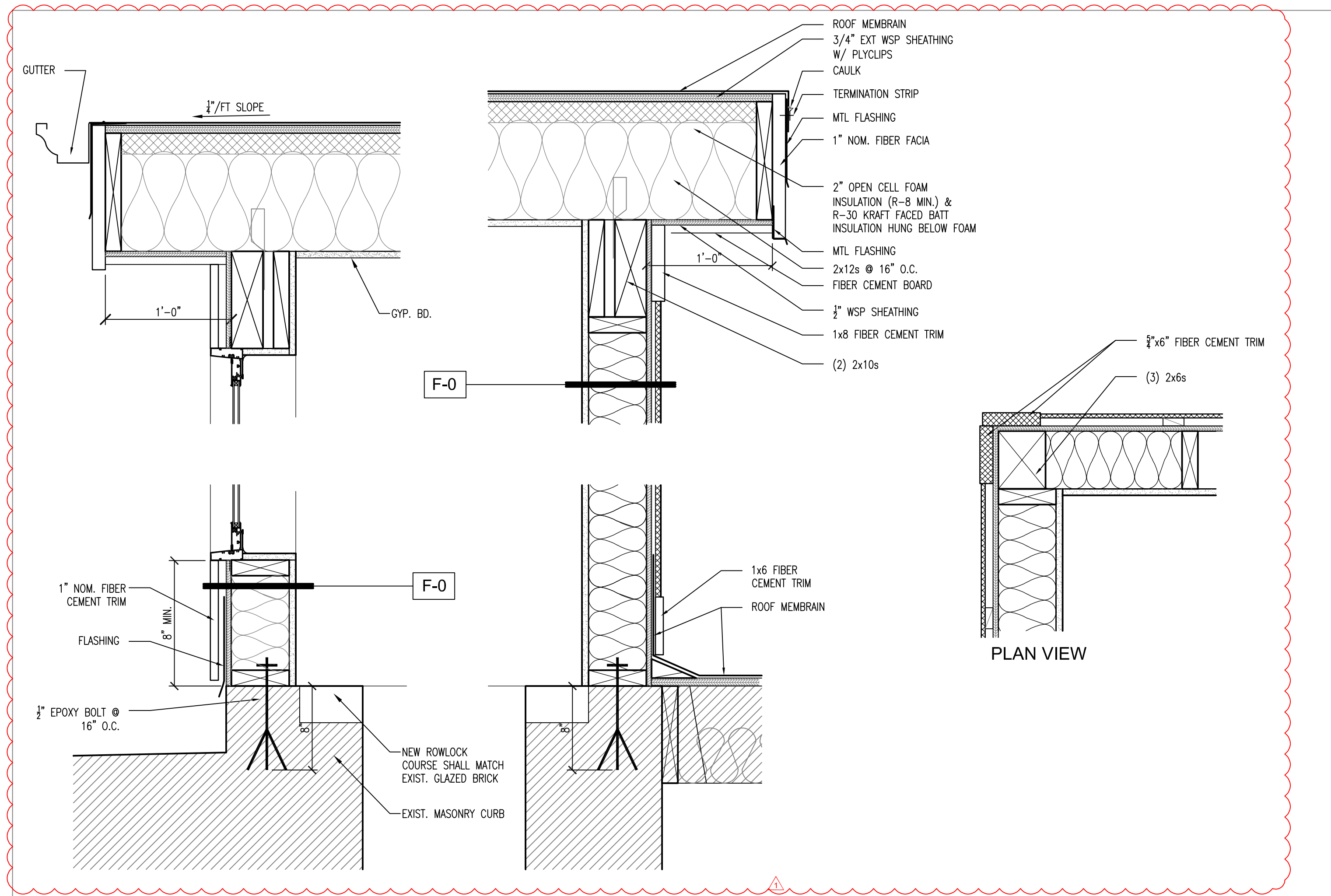
**4 GRASPABLE HANDRAIL**

A6.1 SCALE: 1 1/2" = 1'-0"



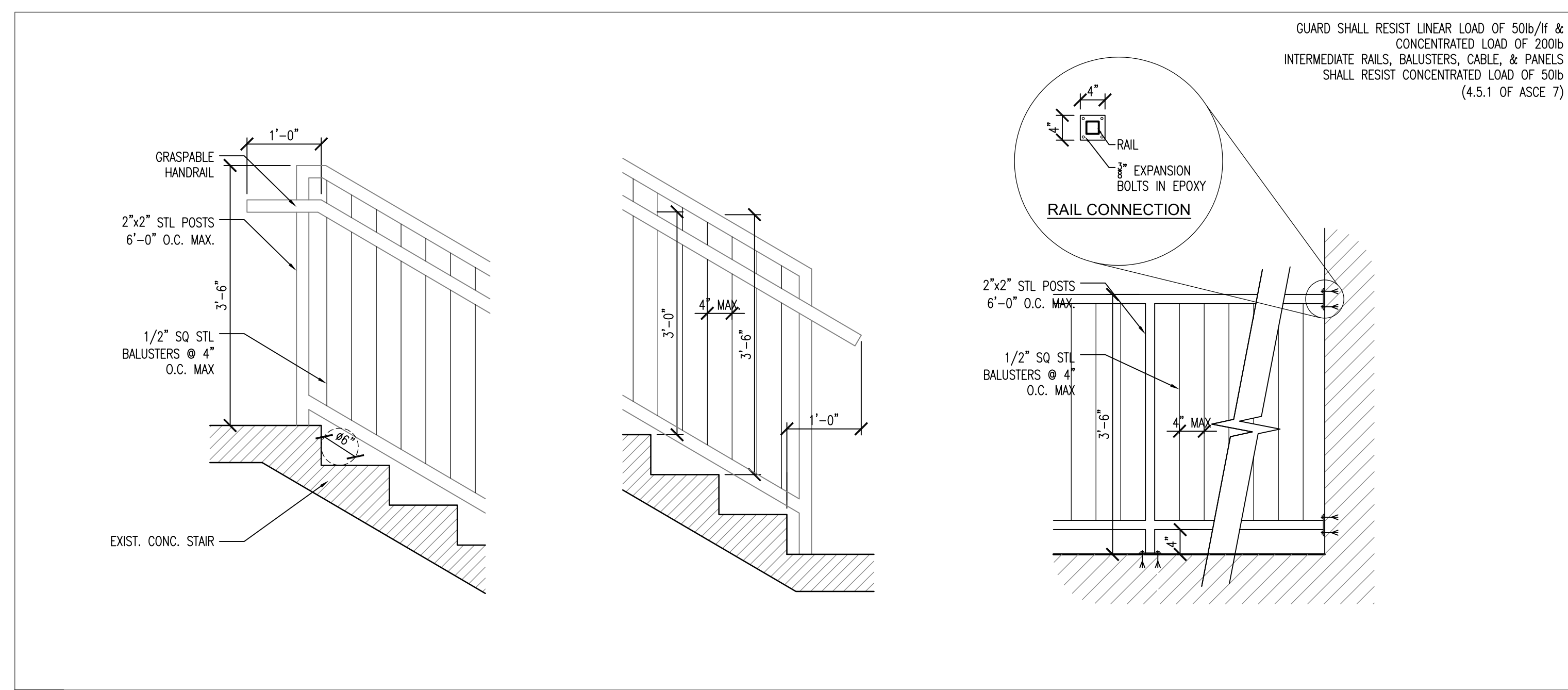
**3 TYPICAL HANDRAIL**

A6.1 SCALE: 1 1/2" = 1'-0"



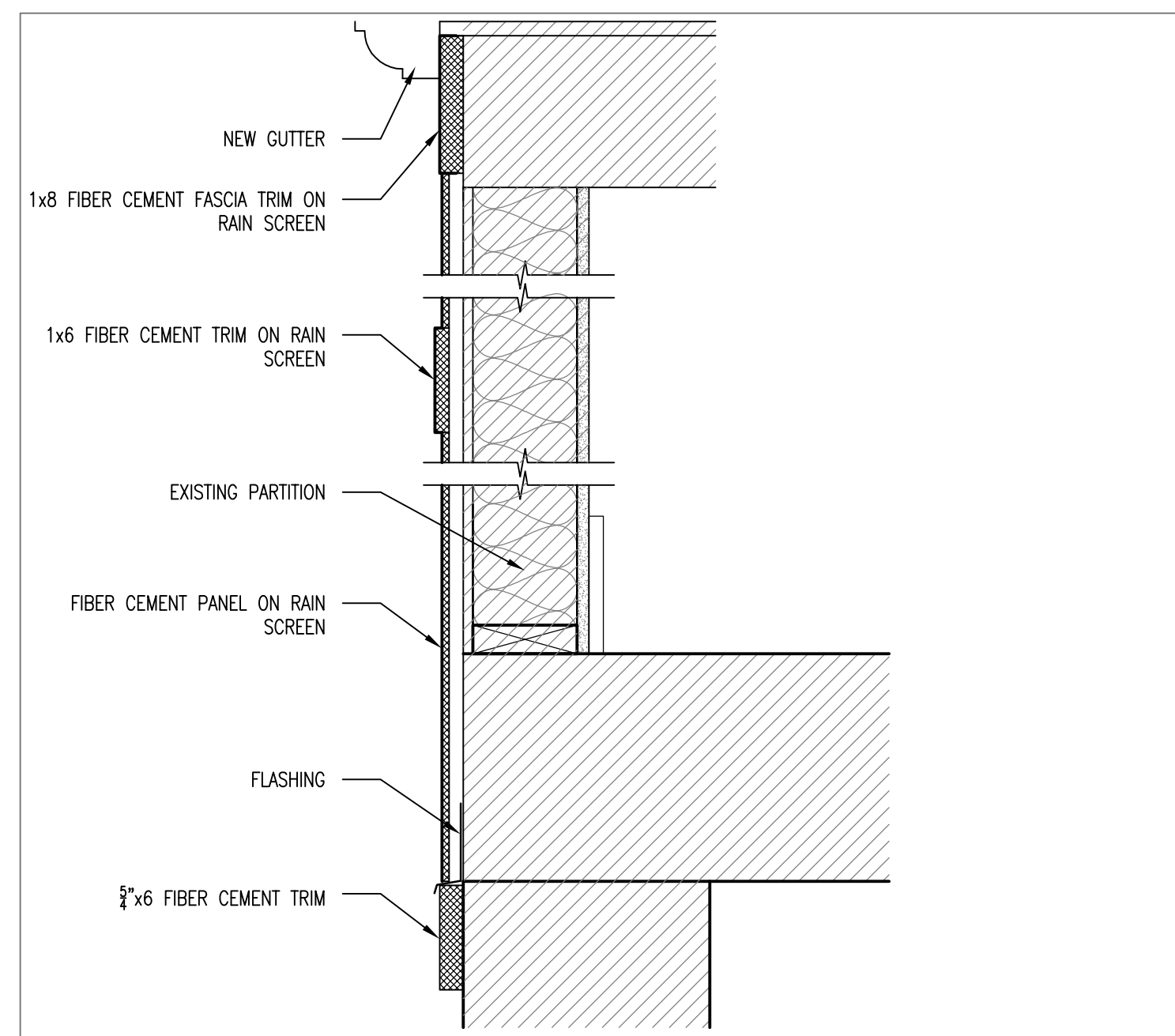
**8 LIGHT MONITOR (ALT#3)**

A6.1 SCALE: 1 1/2" = 1'-0"



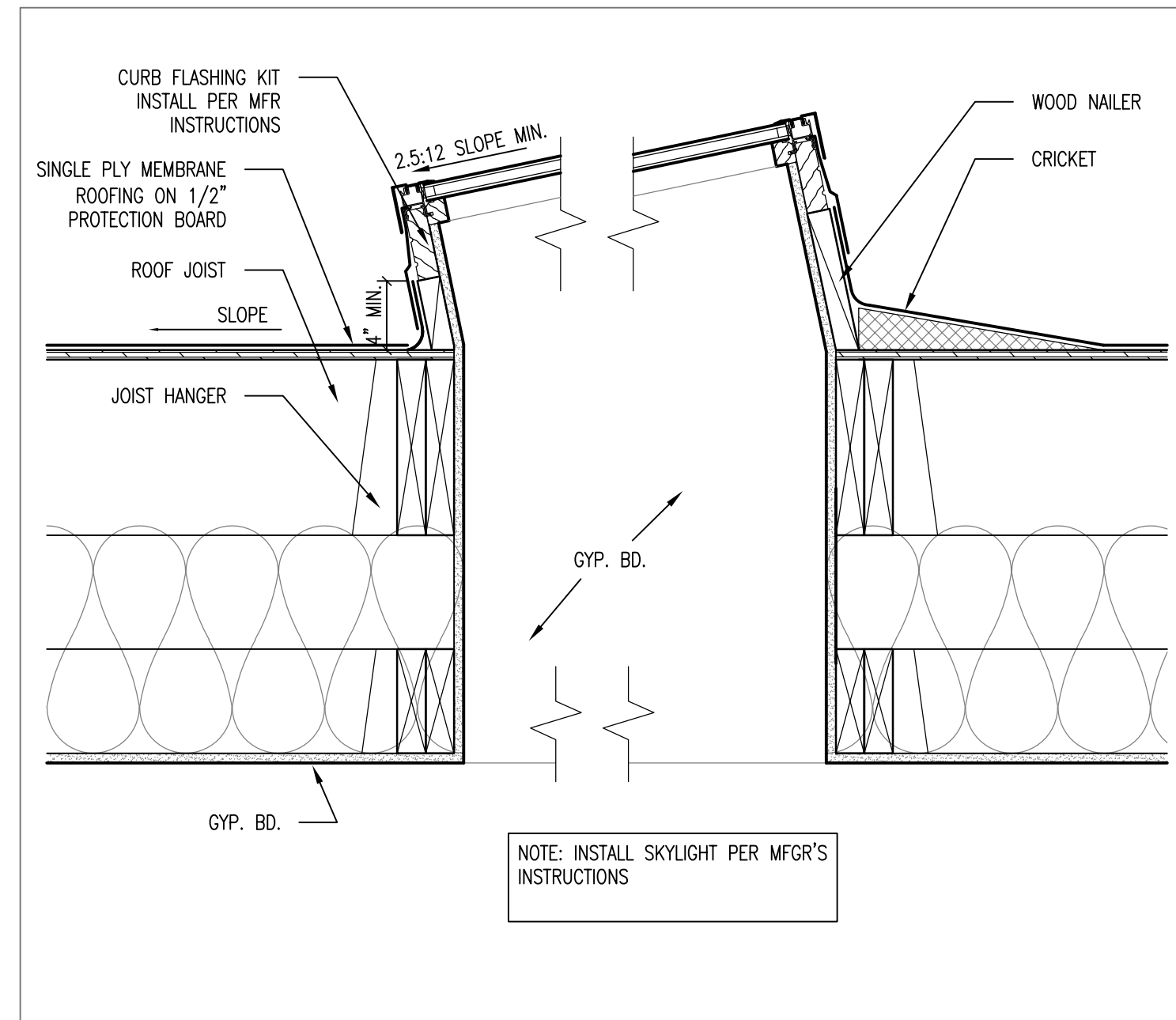
**7 GUARDRAIL @ REAR STAIR (ALT#5)**

A6.1 SCALE: 3/4" = 1'-0"



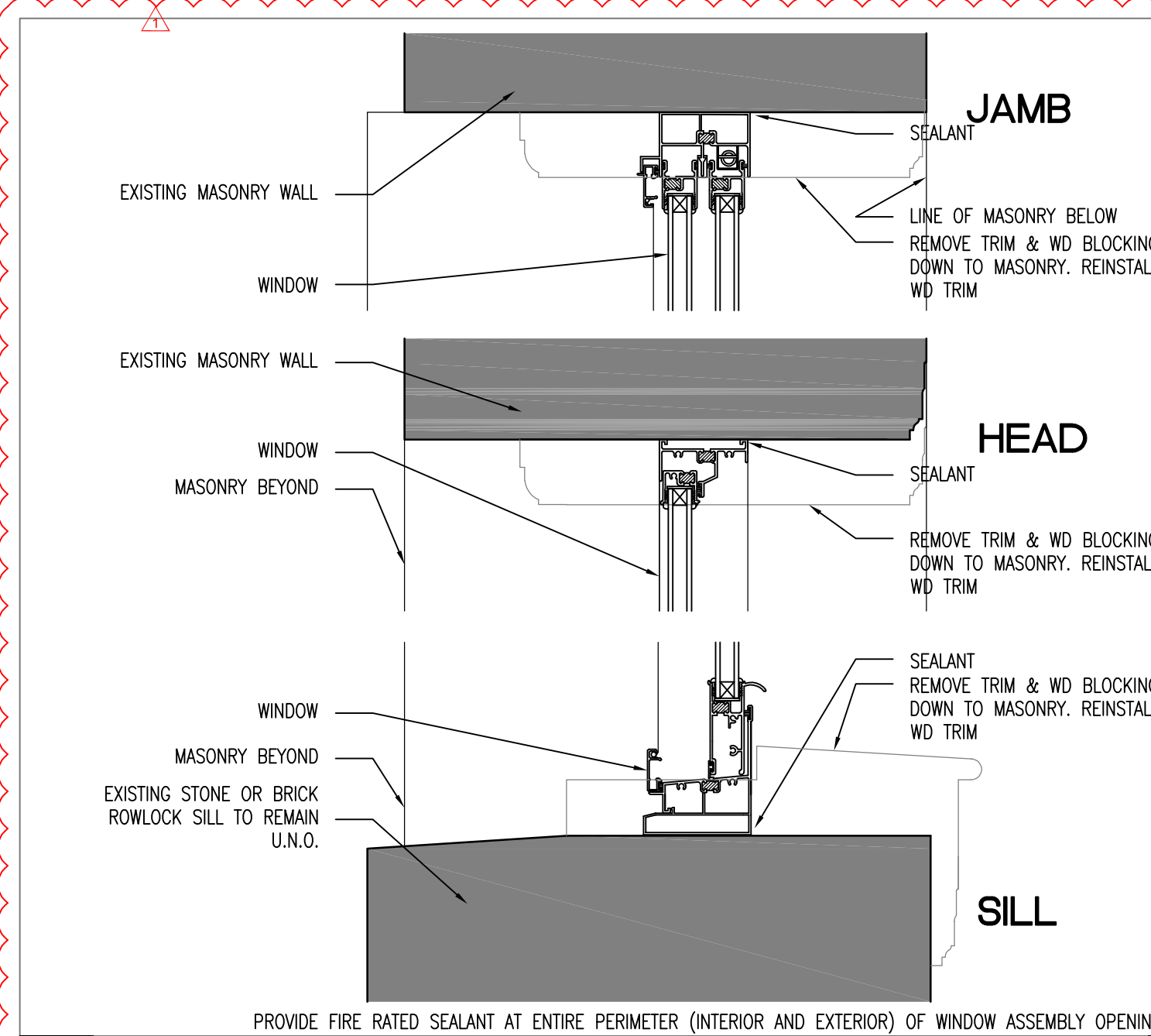
**6 FIBER CEMENT @ ADDITION**

A6.1 SCALE: 1 1/2" = 1'-0"



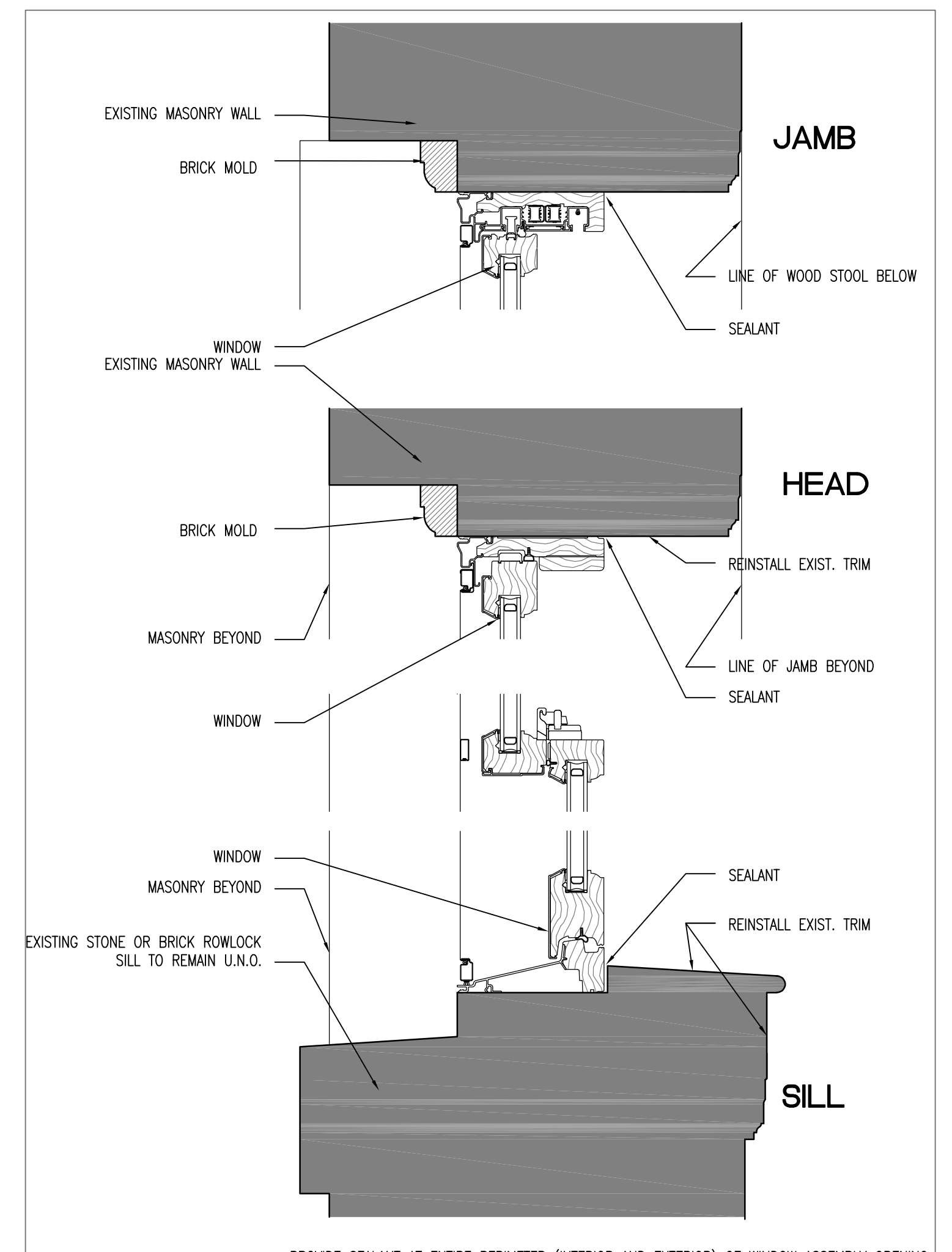
**5 SKYLIGHT (ALT#4)**

A6.1 SCALE: 1 1/2" = 1'-0"



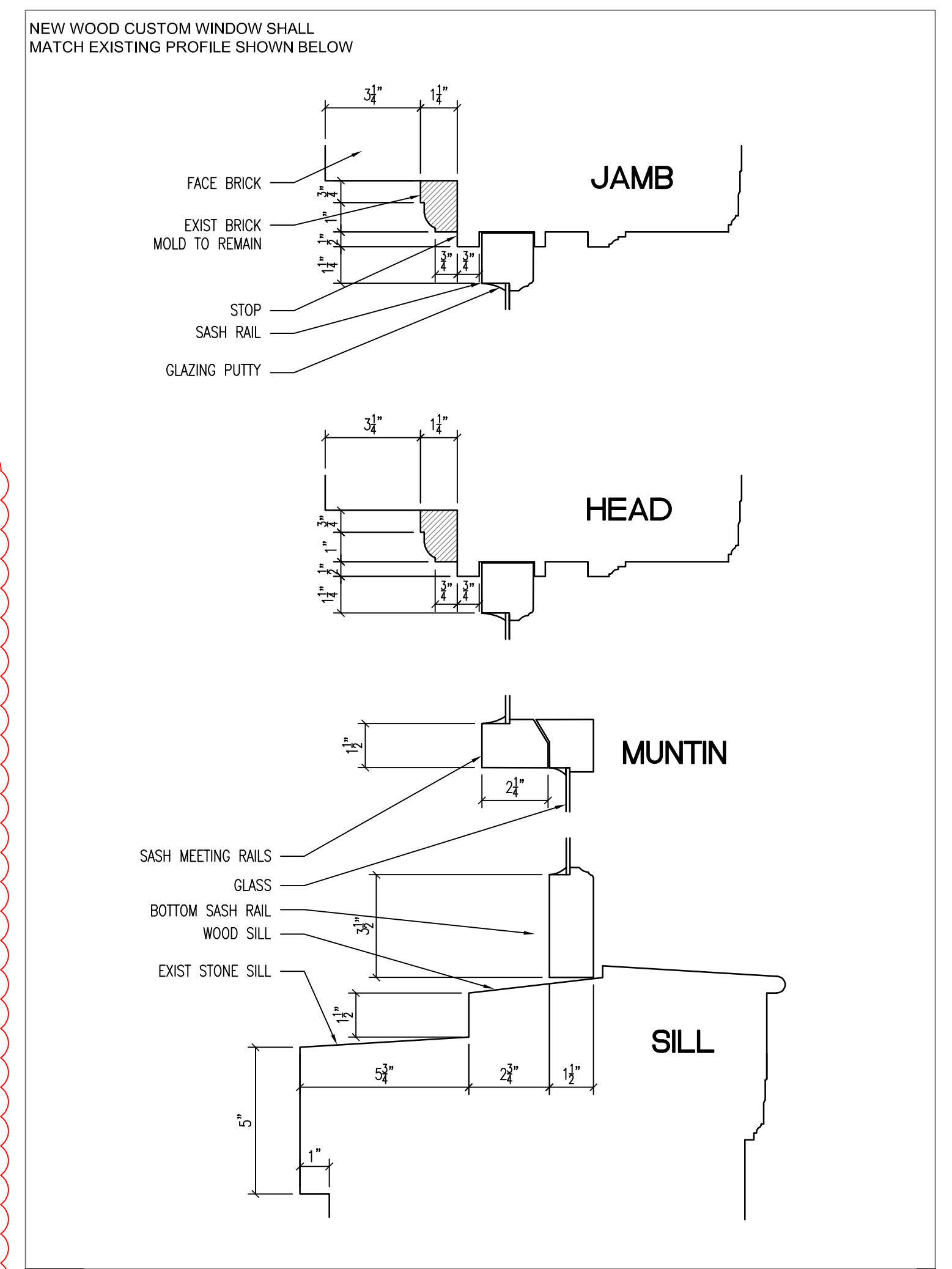
**9 RATED WINDOW**

A6.1 SCALE: 3" = 1'-0"



**8 TYPICAL WINDOW REPLACEMENT**

A6.1 SCALE: 3" = 1'-0"



**1 EXISTING WINDOW PROFILE**

A6.1 SCALE: 3" = 1'-0"

**RENOVATION TO  
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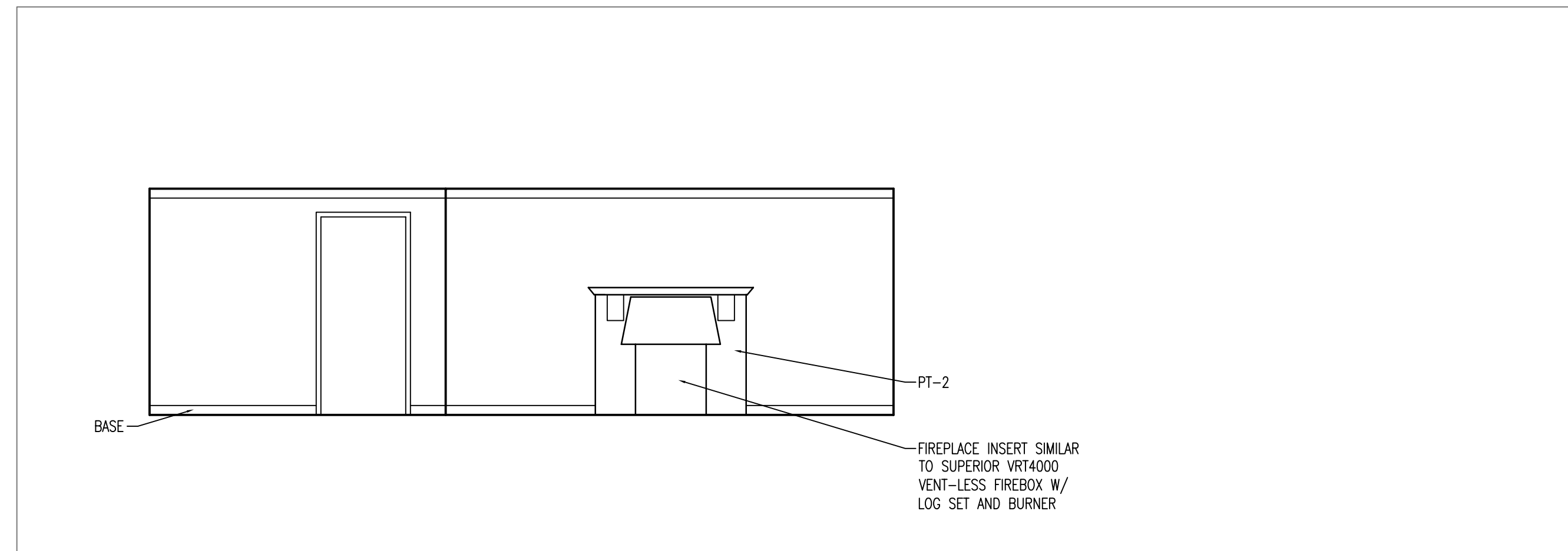
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DETAILS

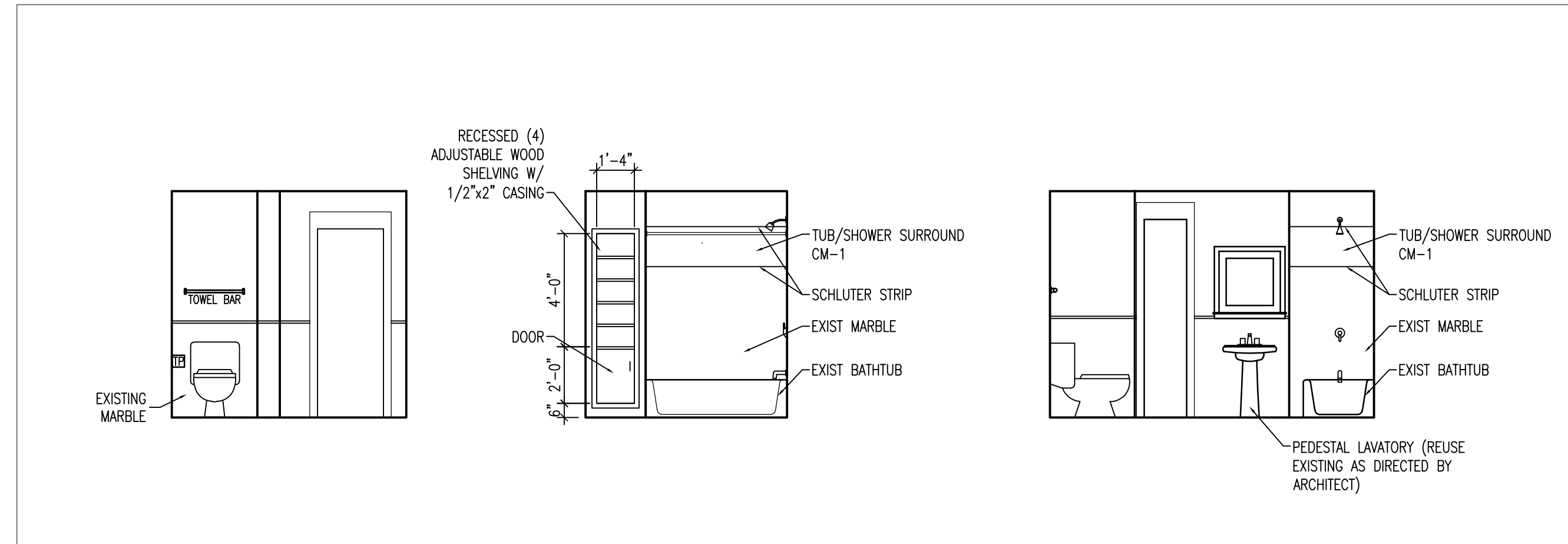
**A6.1**

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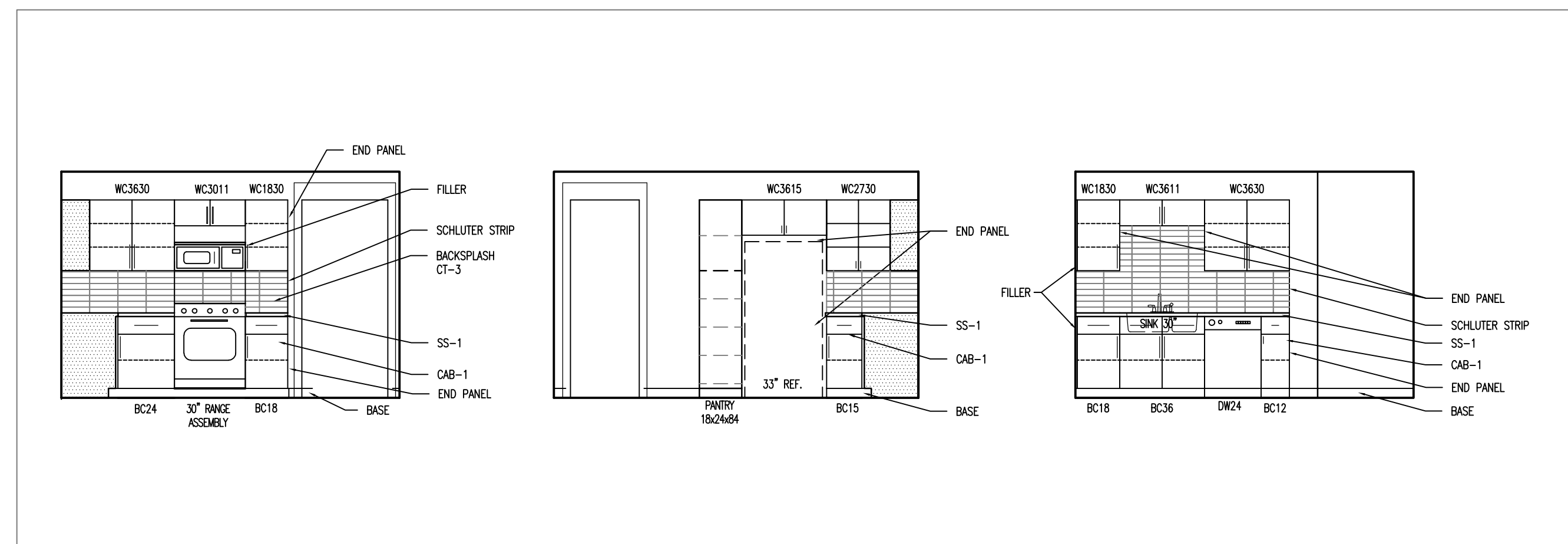
**4 FIREPLACE**

AB.1 SCALE: 1/4" = 1'-0"



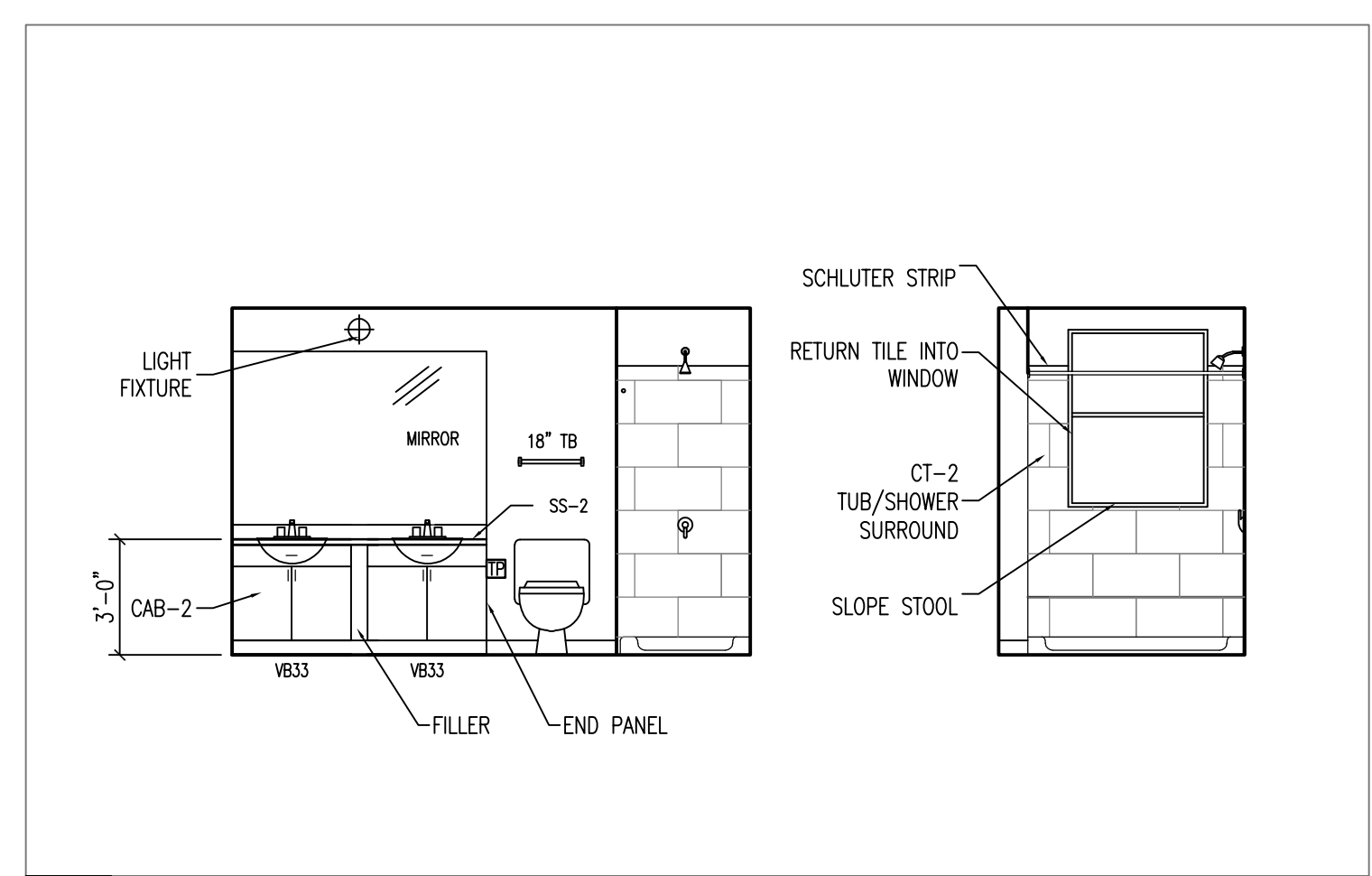
**3 BATHROOM U13**

AB.1 SCALE: 1/4" = 1'-0"



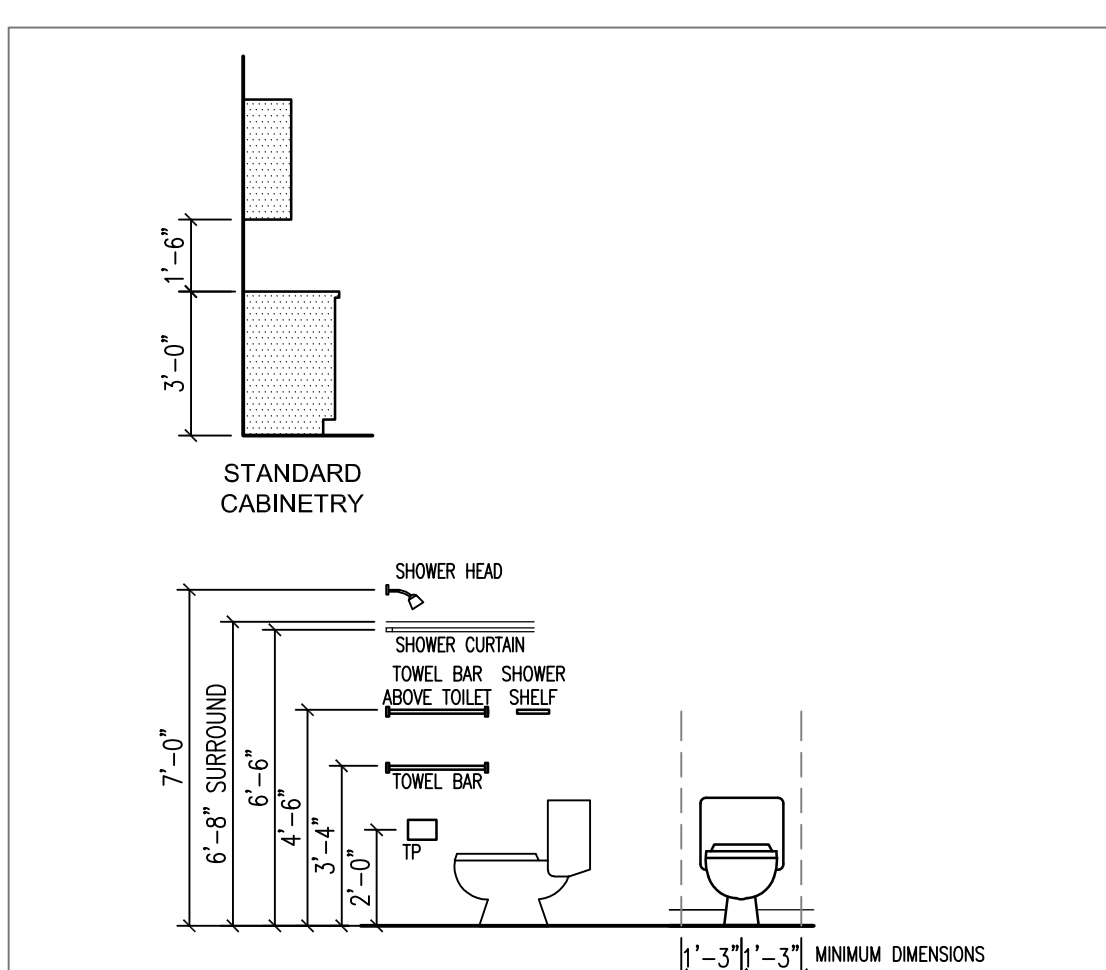
**1 TYPICAL KITCHEN**

AB.1 SCALE: 1/4" = 1'-0"



**2 BATHROOM U05**

AB.1 SCALE: 1/4" = 1'-0"



**STANDARD HEIGHTS**

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INTERIOR ELEVATIONS	
A8.1	

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	WALL MOUNT RECEPTACLE		JUNCTION BOX		SWITCH/DIMMER/ 3-WAY/SENSOR
	WEATHER PROTECTED GROUND FAULT INTERRUPTED RECEPTACLE		EXHAUST FAN		TELEPHONE OUTLET
	GROUND FAULT INTERRUPTED RECEPTACLE		FIRE ALARM PULL STATION		DATA OUTLET (CAT5E)
	FLOOR MOUNTED RECEPTACLE		ENTRY SYSTEM INTERCOM		CABLE OUTLET
	220 VOLT WALL MOUNT RECEPTACLE		THERMOSTAT		ELECTRICAL PANEL
	WALL MOUNT RECEPTACLE W/ USB CHARGER				

**POWER LEGEND**

	SMOKE, HEAT, & CO DETECTOR - HARDWIRED AND INTERCONNECTED BATTERY BACKUP (SMOKE ONLY AT PUBLIC AREAS)		CEILING MOUNTED LIGHT		1x4 FLUORESCENT FIXTURE
	CEILING FAN • INSTALL SEPARATE CONTROLS FOR FAN W/ LIGHT • DIMMER CONTROL FOR LIGHT • VARIABLE FAN SPEED CONTROL FOR FAN		RECESSED CAN LIGHT		UNDERCABINET LIGHT
			RECESSED CAN LIGHT WET LOCATION		LED TAPE LIGHTING
			WALL MOUNTED LIGHT		EXIT EMERGENCY LIGHT
			EXIT LIGHT		EXIT AND EMERGENCY LIGHT COMBO
			EMERGENCY LIGHT		
			LITESCAPE BY DUAL-LITE		

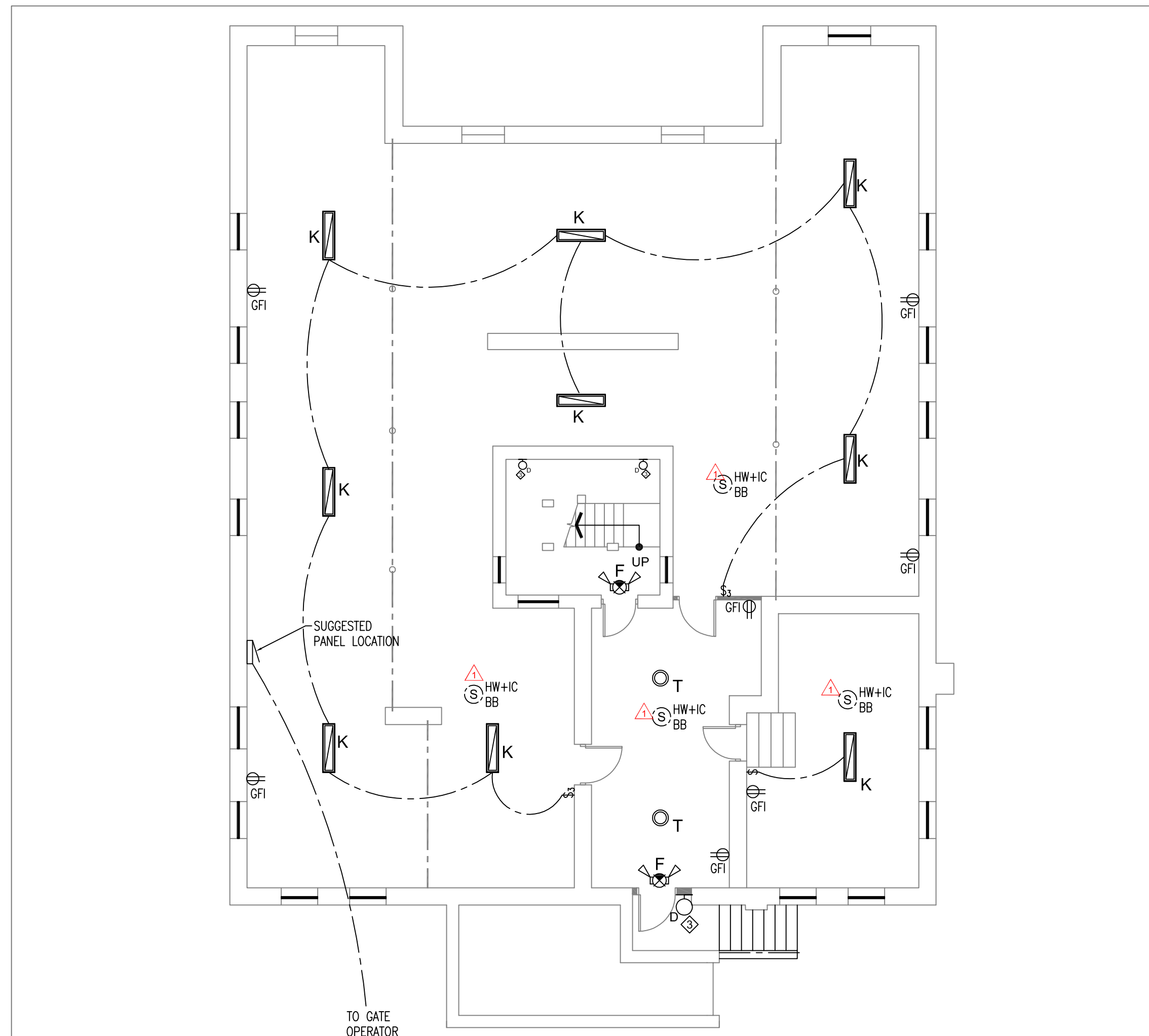
**LIGHTING LEGEND**

**LIGHT FIXTURE INDEX**

EXTERIOR AND PUBLIC SPACES		UNIT INTERIOR
EXTERIOR WALL MOUNT - TYPE "A" *	DECK SCONCE "D" (7'-0")	CEILING MOUNT - TYPE "Y"
TERON LIGHTING	CANARM OUTDOOR LIGHT	HALO
ARCHITECTURAL OUTDOOR	IOL211BK	SLD 600 SERIES
CRNW-L233.6-120-CGL-TB-30K	(OR SIMILAR)	SLD606830WH
BASEMENT FIXTURE "K"	STAR "T" **	WALL MOUNT @ VANITIES "V"
1x4 FLUORESCENT WRAP AROUND	KICHLER LIGHTING	KICHLER LIGHTING
WALL MOUNT AT STAIR "S" (7'-0") **	TRINISC	TRINISC
OSAGE	107840ZLED	COLLECTION 45657CHLED
AINB285-L14.3W-SNBR-120-3000K-ACM-SNBR	OLDE BRONZE	CHROME
WITH EMERGI-LITE MINI INVERTER (IN BASEMENT)	LED 120V	(2) LED120V
EMERGENCY LIGHT "E" **	3.5"hx11.75"W	4.5H"x3.5L"x22"W
COOPER LIGHTING BY EATON		CEILING FAN
APC7-R		KICHLER LIGHTING
EMERGENCY LIGHT "O" **		ARKWRIGHT
EV SERIES BY DUAL LITE		COLLECTION
ARCHITECTURAL LED EMERGENCY LIGHT		3001460RB
	* PHOTOCCELL, CONNECT TO HOUSE PANEL	BRUSHED BRONZE
	** ALWAYS ON, CONNECT TO HOUSE PANEL	120V 60HZ AC

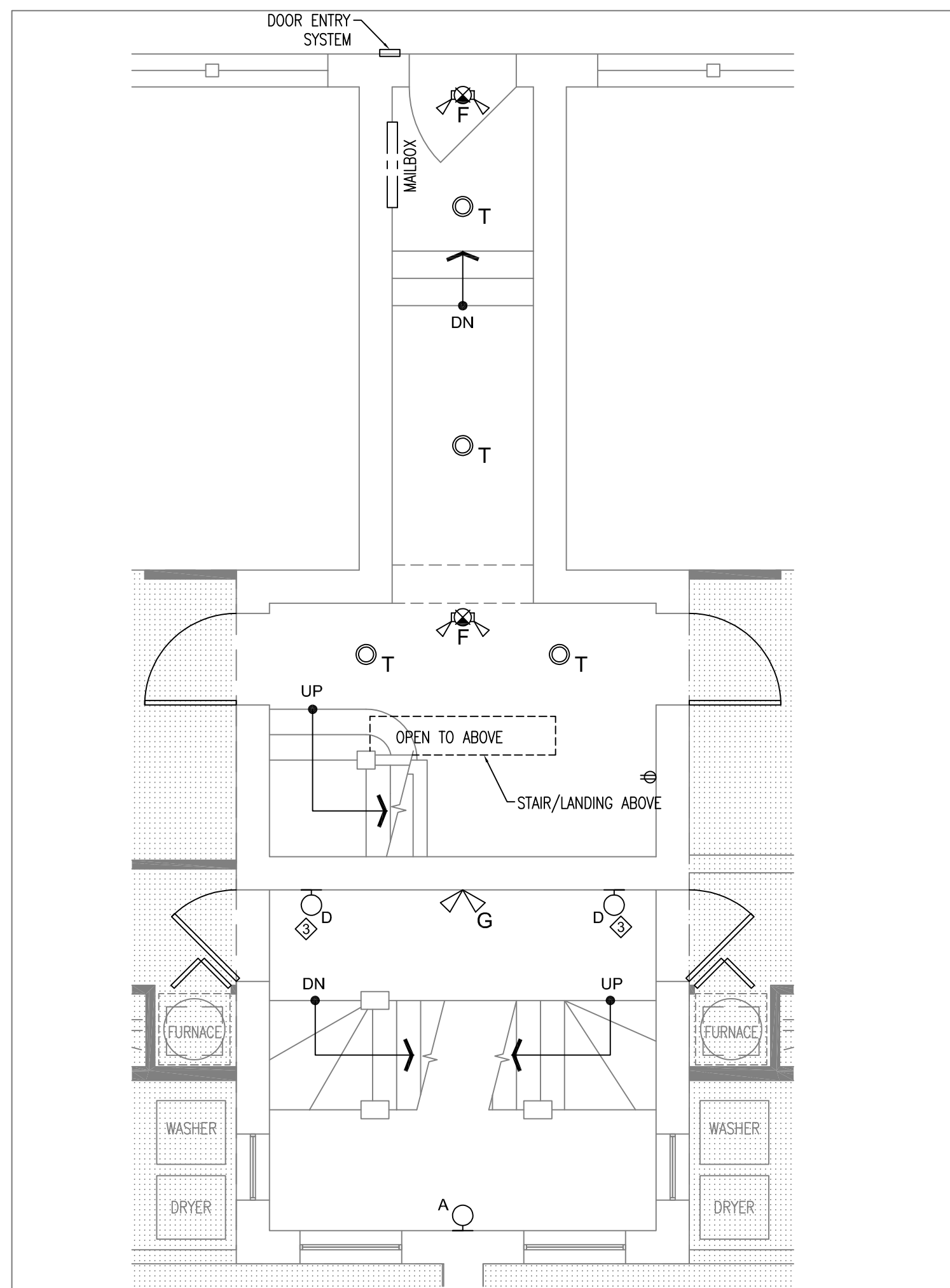
1. PROVIDE FULLY BLOCKED JUNCTION BOX @ ALL CEILING MOUNT LIGHT FIXTURES IN BEDROOMS & LIVING ROOM.
2. RECESSED LIGHTING SHALL BE COORDINATED W/ HVAC, PLUMBING, & F.P. DESIGN/BUILD CONTRACTORS.
3. FOR INTERIOR FIXTURES, PROVIDE CFL LAMPS WITH MAXIMUM POSSIBLE WATTAGE.
4. AT EXTERIOR WALLS TRENCH ALL POWER INTO EXISTING WALL AND REPAIR AND REFINISH

**ELECTRICAL NOTES**



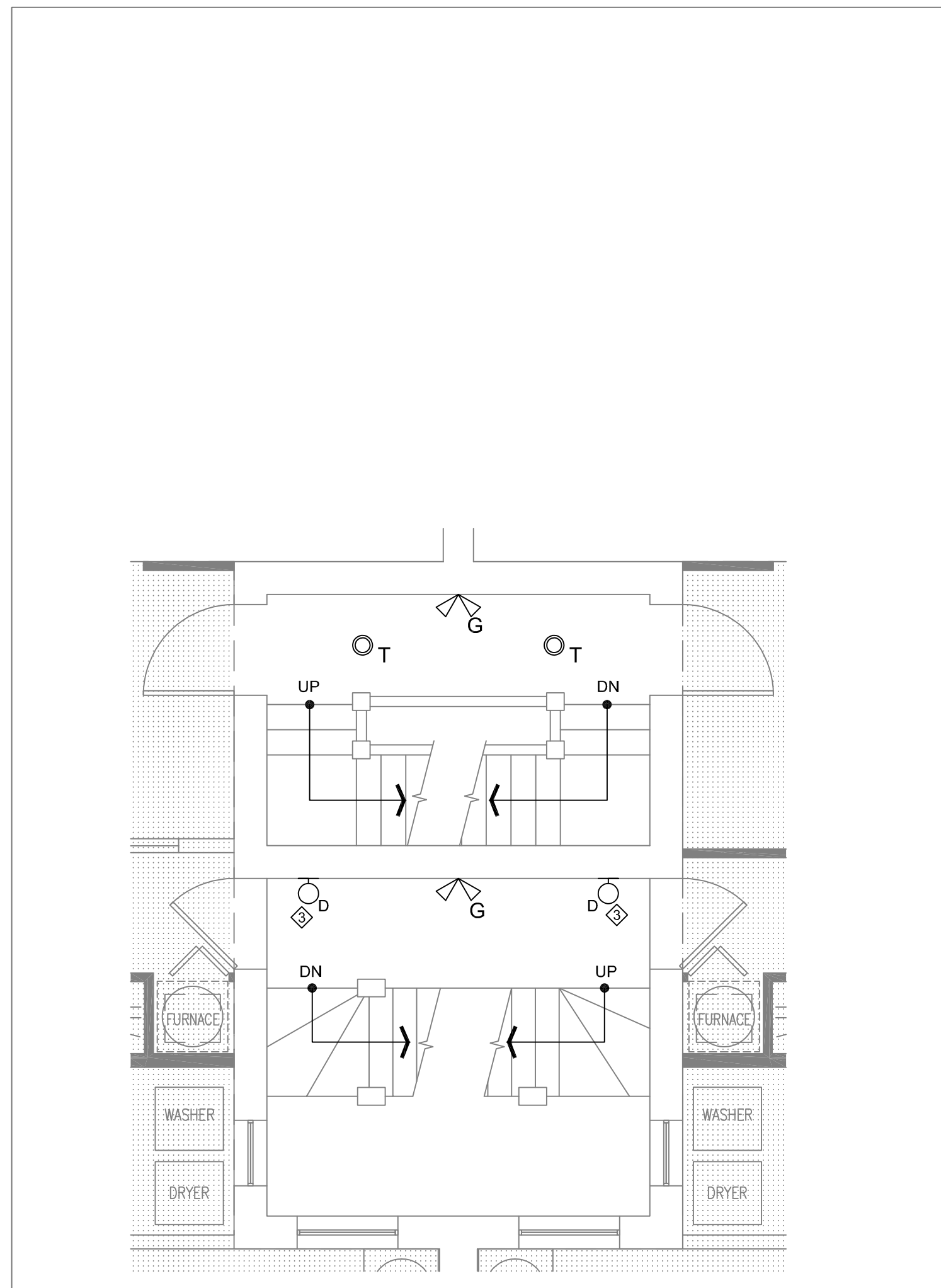
**4 BASEMENT ELECTRICAL LAYOUT**

A11.1 SCALE: 1/8" = 1'-0"



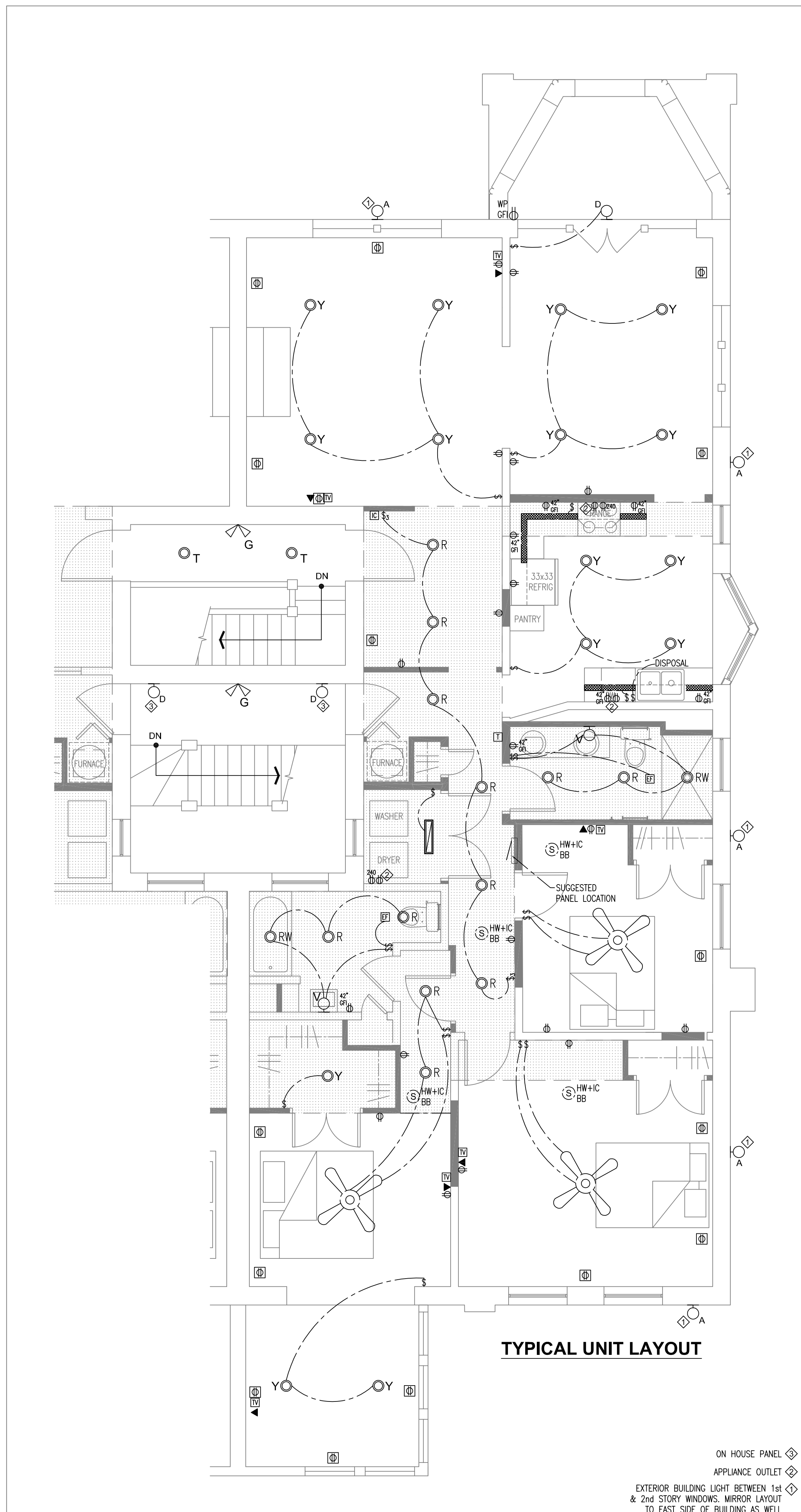
**3 FIRST FLOOR ELECTRICAL LAYOUT**

A11.1 SCALE: 1/4" = 1'-0"



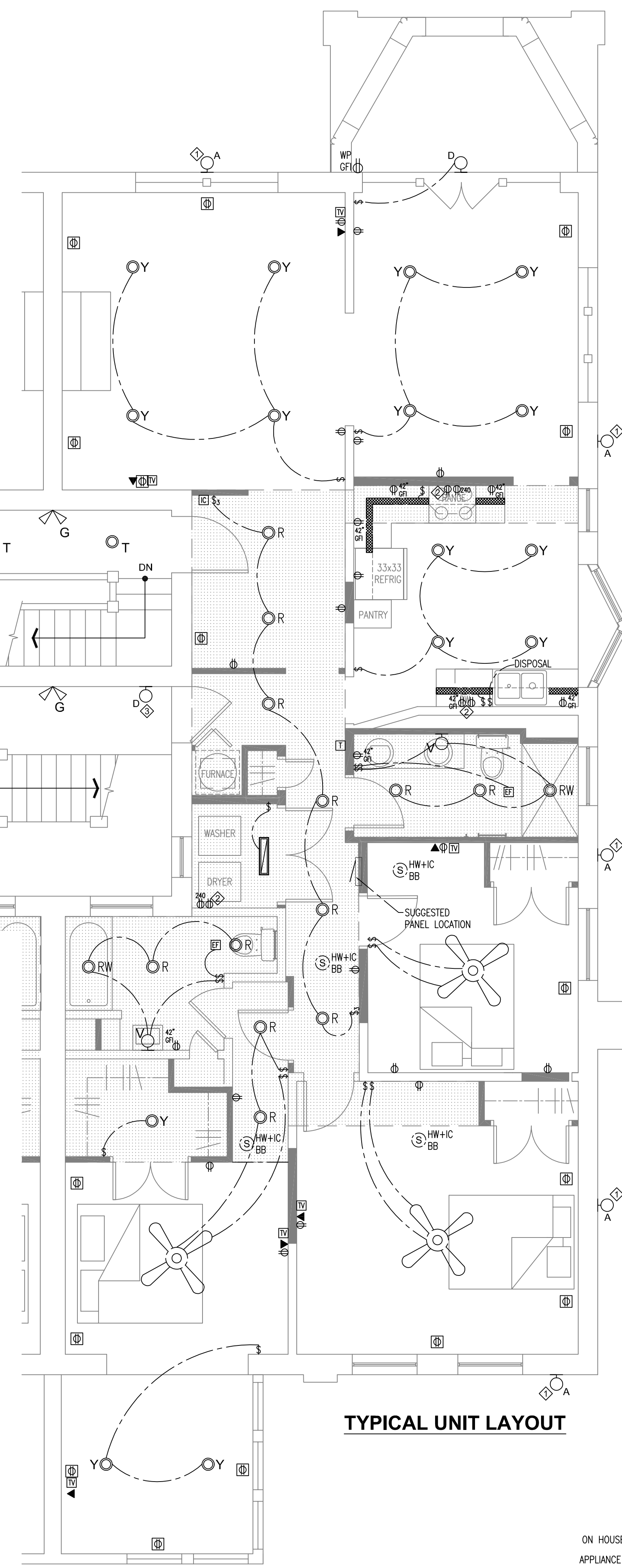
**2 SECOND FLOOR ELECTRICAL LAYOUT**

A11.1 SCALE: 1/4" = 1'-0"



**1 THIRD FLOOR ELECTRICAL LAYOUT**

A11.1 SCALE: 1/4" = 1'-0"



**TYPICAL UNIT LAYOUT**

ON HOUSE PANEL  
APPLIANCE OUTLET  
EXTERIOR BUILDING LIGHT BETWEEN 1st & 2nd STORY WINDOWS. MIRROR LAYOUT TO EAST SIDE OF BUILDING AS WELL

7/31/2017 12:11 PM

DAVID MASTIN - ARCHITECT  
MOW A-3920

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SHEET TITLE  
ELECTRICAL PLANS

**A11.1**

RENOVATION TO  
**5656 WATERMAN**  
PROJECT STREET ST. LOUIS, MO 63112

shant loomis  
**DESIGN ALLIANCE**  
architects

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NOTIFY ARCHITECT IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT.